

Complainant Information

Source LegacySystem

Case Information

Complaint Building UB

Summary UNSAFE, FIRE

Address  300090018604

9131

FT SMALLWOOD

RD

PASADENA

State

21122

Subdivision ROCK CREEK

Location Details 9129 FT SMALLWOOD RD

Received Date  07/28/2017 09:47 AM System ID 68643

Tickler Date  01/21/2019 02:00 PM Case ID B-2017-529

Completed Date  01/18/2019 09:38 AM

Receiver CHRISTINA BRAUN

Owner Information

First Name Last Name (XXX)-XXX-XXXX

Owner, Second Name

Company Name Email

Address House Number Street Name Street Type

City State Zip

Violator Information

Set Violator Same as Owner

JACKSON RALPH G Last Name (XXX)-XXX-XXXX

JACKSON PATRICIA A

Company Name

Address House Number Street Name Street Type

PASADENA 21122 State Zip

Assignment Information

Date Assigned	④ 07/28/2017 12:00 AM		
Inspector	CHARLES SCHINDLER (209) (current)	Supervisor	Select:
Permit Number		Waterfront	N
Original Case ID		Critical Area	N
ADC Map		Cty. Council	N
Case Organization			

Case Details

UNSAFE, FIRE

Active Permit Application Information

Type Permit # Status

B	2247289	Completed
B	2346891	Pending
B	2348985	Completed
B	2351762	Pending
E	2132499	Completed
E	2214286	Completed
P	2162925	Completed
P	2216797	Expired
T	2038567	Completed
T	2040756	Completed

Other Cases On This Property

Case # Received Date Status Summary

Related Cases

type a case number or click to see related cases

Closed



Case Timeline

Last updated on Jan 14, 2019 by CHRISTINA BRAUN



CLOSE COMPLAINT

B02348985 CMP: 01/18/19

JANUARY 18, 2019 by: IPBRAU06



REINSPECTION

HAS STRUCTURE BEEN REMOVED. PLEASE OBTAIN NEW PICTURES

JANUARY 14, 2019 by: IPBRAU06



MONITORING

OCTOBER 2, 2018 by: IPBRAU06



MONITORING

MAY 30, 2018 by: undefined



Note

PERMIT APPROVED. MONITOR FOR INSPECTIONS AND COMPLETION

MARCH 5, 2018 by: undefined



Note

COMLTR: 12/12/17

JANUARY 5, 2018 by: undefined



PENDING PERMIT REVIEW

B02351762 RPLC ENTIRE ROOF*FIRE DAMAGE*,RPLC NON-STRUCTL WALL,LEVEL TOP PLATE AS NEEDED TO ACCOMODATE NEW TRUSSES(INTERIOR RNVTNNS REQUIRE SEPERATE PERMIT) APP: 12/01/17

DECEMBER 4, 2017 by: undefined



PERMIT ISSUED

B02348985 ISS: 09/08/17

OCTOBER 3, 2017 by: undefined



FIRST LETTER SENT

AUGUST 29, 2017 by: undefined



OPENED COMPLAINT CASE

JULY 28, 2017 by: undefined

Created on Jul 28, 2017 by CHRISTINA BRAUN

Anne Arundel County Department of Inspections and Permits
Building Section Complaint

Case ID: B - 2017 - 529 Location: 9131 FT SMALLWOOD RD
Tax ID: 300090018604 ROCK CREEK PASADENA 21122
Received: 7/28/2017 Details: 9129 FT SMALLWOOD RD
Tickler: 8/7/2017 Completed: UNSAFE, FIRE
UB

Receiver: CHRISTINA BRAUN Inspector: CHARLES SCHINDLER (209)
Date Assigned: 7/28/2017 Permit Number: Original ID:
ADC Map: Related Cases:
Water Front: N Critical Area: N Violation:
Cty. Council Ind: N Case Org:
Complainant:

Owner Information

Owner 1: JACKSON RALPH G
Owner 2: JACKSON PATRICIA A
Address: 9131 FT SMALLWOOD RD
PASADENA 21122

Violator Information

Violator 1: JACKSON RALPH G
Violator 2: JACKSON PATRICIA A
Address: 9131 FT SMALLWOOD RD
PASADENA 21122

Phone:

State Map:	18	Map No:	01	Suffix	0008	County Map:	Plat	Sect	Block	Lot No
Date	Event					Due Date	Request for Trial Date			
7/28/2017	OPENED COMPLAINT CASE					8/4/2017				

Posted unsafe 7/28/17
Demo + rebuild

8-3-17 1ST LETTER

Charles Schindler

IPD993C/MS99 BROWSE PERMITS BY TAX ACCOUNT PAGE 001 OF 001
 LINE ACCT NUMB PRMT NBR STATUS PROPOSED USE
 1 300090018604 B02247289 C "COCONUT CHARLIE'S" INTERIOR ALTERATIONS TO EX
 TENANT: COCONUT CHARLIE'S
 2 300090018604 B02346891 P REMOVE EX. RAMP & RPL. WITH 16X18 DECK & (2) NEW
 TENANT: COCONUT CHARLIES
 3 300090018604 E02132499 C CATV -FRONT OF ABOVE ADDRESS
 TENANT:
 4 300090018604 E02214286 C REWIRE LIGHTS & RECEPT IN BAR & INSTALL FIRE
 TENANT: COCONUT CHARLIE'S
 5 300090018604 P02162925 C INSTALL NEW DRAIN PIPE & WATER SUPPLY TO BAR AREA
 TENANT: COCONUT CHARLIE'S
 6 300090018604 P02216797 E Replacement of Existing Fixtures
 TENANT:
 7 300090018604 T02038567 C INSTALL 500 GALLON GREASE TRAP
 TENANT:
 8 300090018604 T02040756 C 1500 GALLON TANK
 TENANT:
 9
 TENANT:
 LINE NUMBER (1-9)/PAGE (B,F) F PAGE NUMBER ACCOUNT HAS EXPIRED PERMIT(S)
 F10=RETURN 000 HIT ENTER
 F11=CPF MENU F12=PIPS MENU
END OF REPORT

PAGE NUMBER 1 3000-9001-8604	MAP 18	BLK 01	PARCEL 0008	PLAT SECTION	BLOCK	LOT	DEED REFER 06560-718			
PREMISE ADDRESS 9131 FT SMALLWOOD RD										
JACKSON RALPH G JACKSON PATRICIA A							PLAT REFER			
PASADENA MD 21122										
MAILING ADDRESS 9131 FORT SMALLWOOD RD						GENERAL CODES				
PASADENA	MD 21122						EXEMPT	DATE	CD	CL
	2 ACRES 9131 FT SMALLWOOD RD						000			
	ROCK CREEK						USE	CODE	C	
CUR	LAND 150,000	BUILDINGS 225,400	TOTAL 375,400	PREFER LAND	CURTILAGE	OWN OCCUP	D			
1	150,000	225,400	375,400		130,100	AG TRSF	TX			
2	150,000	225,400	375,400		130,100	AG DAT				
3	150,000	225,400	375,400		130,100	REASSESSMENT				
BASE	187,400	214,600	402,000		141,300	ASSR	0283			
HST	150,000	225,400	375,400		130,100	GEO CODE	1			
PREV ACCOUNT NO 3000-9001-8604	PREVIOUS OWNER JACKSON, CHESTER W			TRNS NO	G F 1.000000					
				01351	PGF 1.000000					

FOR A DIFFERENT PAGE HIT ENTER ELSE HIT F1-MENU F2-WB F3-UTIL F4-LIEN
F5-USE F6-NAME F7-LOCAT F8-HLTH F9-PREM F10-MORE F11-FF/CAP F

PAGE NUMBER 2
3000-9001-8604

TXBL IND **1**
 TXBL ASSMT **352,576**

* CURRENT SALES DATA *
 TRANSFER NUMBER **01351**
 TRANSFER DATE **02-09-1994**
 CONSIDERATION
 MORTGAGE
 GROUND RENT
 HOW CONVEYED **4**
 T/P CONVEYANCE **T**

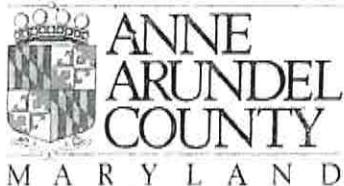
6 MONTHS ONLY
 NEW CONSTRUCTION
 INC OTHER PROPERTY

* PROPERTY CHARACTERISTICS *

STRUCTURE CODE	YEAR BUILT	1950
AMENITY CODE	ZONING	
LAND AREA	2.000	ACRES
MAIN BUILDING AREA	5179	SQ FT
NUMBER LOTS		

* WATER/SEWER DATA *
 WATER TYPE
 SEWER TYPE **2 SEPTIC** SEWER UNITS **001**
 * W A S T E D A T A *
 AACO **001 ANNAPOLIS 000 ZONE**

FOR A DIFFERENT PAGE HIT ENTER ELSE HIT **F1-MENU F2-WB F3-UTIL F4-LIEN**
F5-USE F6-NAME F7-LOCAT F8-HLTH F9-PREM F10-MORE F11-FF/CAP **B**



Department of Inspections and Permits
2664 Riva Road, Annapolis, Maryland 21401
410-222-7790

DAMAGE INSPECTION REPORT

Immediate Action Required on Number

Building Address: 9129 Fort Smallwood Road
Use Group: Single Family Other Bar

Date July 28, 2017

Construction Type: Wood Frame Masonry Other

1. Building Condition: Safe For Occupancy Habitable, Repairs Necessary
 Uninhabitable - Keep Out Demolition Recommended

2. Exterior Wall Condition: Y Damage N

Windows Gone Siding Damage Holes In Wall

Wall Bowed (which wall) _____ Wall Unsafe (which wall) _____

Wall Gone (which wall) _____ Comment _____

3. Roof Condition: Y Damage N

Holes In Roof Shingle Damage Structural Damage Roof Unsafe Roof Gone

Comment _____

4. Foundation Condition: Y Damage N

Crawl Space Basement Building Shifted Building Off Foundation

Foundation Cracked (which walls) _____

Comment _____

5. Floor Condition: First Floor Y Damage N Holes In Floor Floor Shifted Structural Damage

Second Floor Y Damage N Holes In Floor Floor Shifted Structural Damage

Comment _____

6. Interior Bearing Walls: Y Damage N Shifted Structural Damage

Comment _____

7. Heating System: Y Damage N Duct Damage Appliance Damage

Comment _____

8. Plumbing System Y Damage N Fixture Damage Piping Damage

Comment _____

9. Electrical System: Y Damage N Fixture Damage Circuit Breaker Box Damage

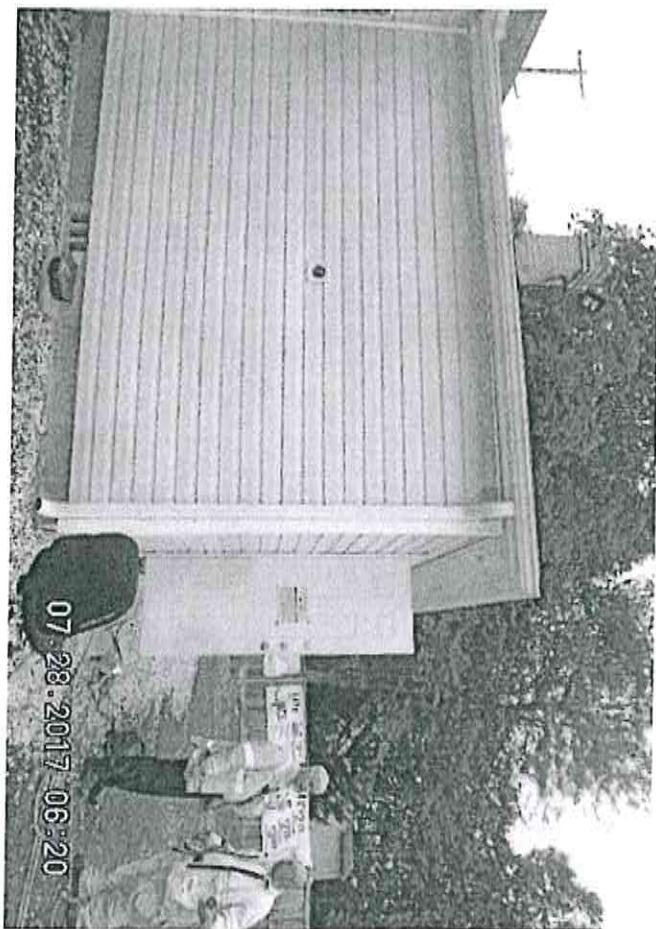
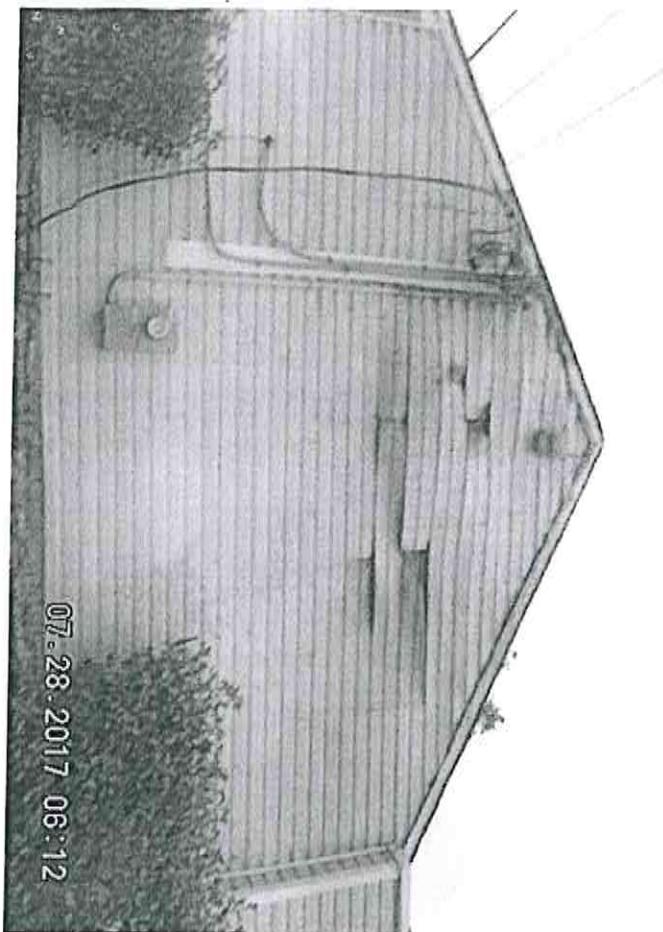
Comment _____

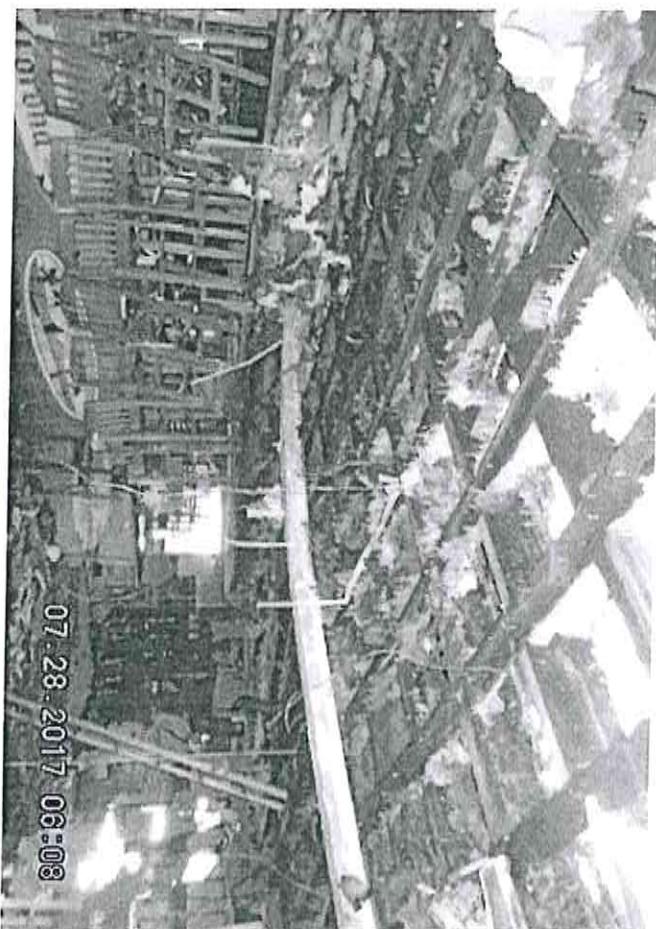
10. Utilities Condition: Gas: Y Damage N Water: Y Damage N Electric: Y Damage N

Comment _____

11. Additional Comments: _____

Demo & Rebuilt needed







2664 Riva Road
Annapolis MD 21401
www.aacounty.org/ip
Phone: (410) 222-7790

Daniel L. Kane, Director

NOTICE OF UNSAFE STRUCTURE

August 30, 2017

Ralph G Jackson
Patricia A Jackson
9131 Ft Smallwood Rd.
Pasadena MD 21122

RE: Unsafe Structure – 9131 Ft Smallwood Rd.
Tax Account # 3000-9001-8604

Dear Mr. and Mrs. Jackson:

Pursuant to an investigation conducted by this department the structure located at the above referenced address was found to be unsafe and open to casual entry. Therefore, in accordance with Section 115.1 and 115.8 of the 2015 Anne Arundel County Construction Code, you are hereby ordered to raze and secure this structure on or before **October 2, 2017**. Building Permits will be required to raze this structure. All remaining debris shall be removed to an approved facility.

You are required pursuant to the Anne Arundel County Building Code Section 104.3 to immediately contact me to indicate your acceptance or rejection of this order. Your response must be in writing and be received within ten working days of receipt of this letter.

Any action taken by Anne Arundel County to make the structure safe or to demolish the unsafe structure shall constitute a lien on the land improvements and such lien may be enforced by sale of the property in accordance with the provisions of the Tax-Property Article, Annotated Code of Maryland. Your cooperation is appreciated. If you should have any questions, please contact me at 410-222-7737.

Respectfully,

A handwritten signature in black ink that reads "William Bryant".

William R. Bryant, MCO
Assistant Director, Inspections and Permits



2664 Riva Road
Annapolis MD 21401
www.aacounty.org/ip
Phone: (410) 222-7790

Daniel L. Kane, Director

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Respectfully,

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William R. Bryant, MCC
Assistant Director, Inspections and Permits

209

Complaint Case # B-2017-529

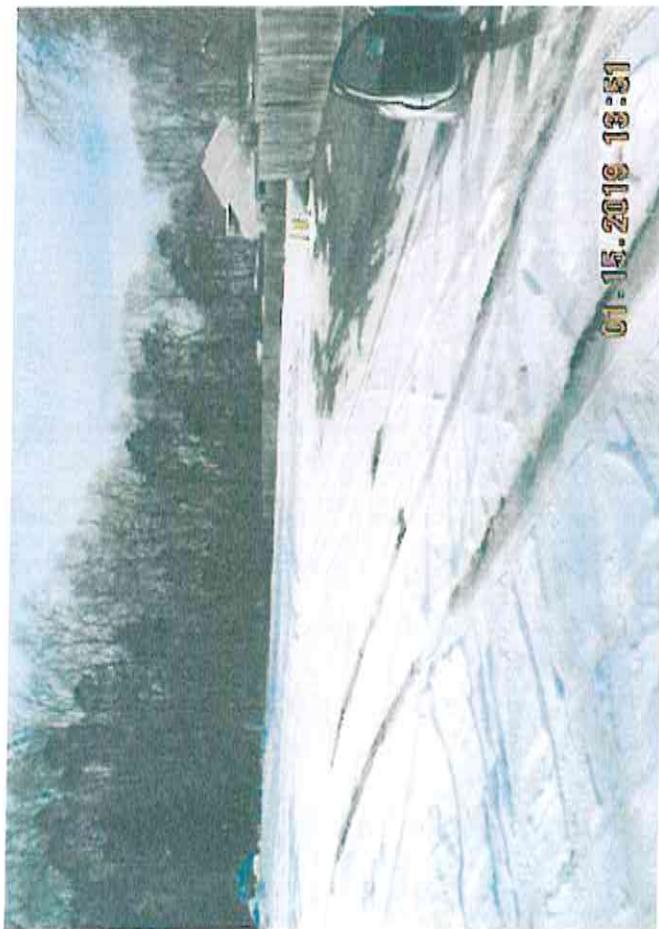
[Case Information](#) [Assignment Information](#) [Case Details](#) [Events](#) [Attachments](#) [Related Information](#)

Event Type REINSPECTION

[NEW EVENT](#)Date 01/14/2019 02:00 PM Fine \$ 0Due Date 01/21/2019 02:00 [UPDATE TICKLER DATE](#) Amount Paid \$Req Trial Date 01/14/2019 02:00 PM Fine Due Date 01/14/2019 02:00 PMFine Paid Date

Details HAS STRUCTURE BEEN REMOVED, PLEASE OBTAIN NEW PICTURES

Demo permit issued on 9/8/17
Demo completed & permit Anuled
January 17, 2019



if existing is
needed exist

US FINANCIAL CAPITAL INC.
8600 SNOWDEN RIVER PARKWAY
SUITE 207
TAX #03-0000-19639000
DEED REF 18021 / 592
MAP 18 GRID 1 PARCEL 7

ARNOLD P. & CLAIR - BUNDY
9117 FORT SMALL
TAX #03-000-32000000
DEED REF 6122/106
MAP 18 GRID 1 PARCEL 109
LOT 2

led 04/0
PCB

RAV

DANIEL A. & SHERRY DAW



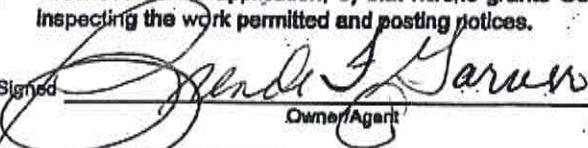
Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401

Permit Number	Fee	75.00	#	8847			
Date	Tax Acct #	3000-9001-8604	Perc #	UA/PWA#			
Site Address			Map	Block	Parcel	Lot(s)	
City		State	Zip	Subdivision			
Suite #	Tenant Name		Tenant Location				
Property Owner Information			Contractor's Information				
Company Name			Lic Type & #	Company Name			
Name	Jackson Ralph		Name				
Mailing Address	9131 FT SMALLwood Rd		Mailing Address				
City	State	Zip	City	State	Zip		
Telephone			Telephone				
Email			Email				
Applicant Information			Engineer Information				
Company Name	Permit Services, Inc.		#	805	Company Name		
Name	Brenda Fraley Garver & Samantha Mullinx		Name				
Mailing Address	2011 Fraley Lane		Mailing Address				
City	State	Zip	City	State	Zip		
Telephone			Telephone				
Office: 410-360-2228 fax: 410-360-6928							
Email	permitservicesinc@comcast.net & smmullinx1231@comcast.net		Email				
Architect Information			Permit Type-Check One				
Company Name			<input type="checkbox"/> New	<input type="checkbox"/> Sprinklers			
Name			<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure-Indicate heights of:			
Mailing Address			<input type="checkbox"/> Alteration/Repairs	<input type="checkbox"/> Principal _____ ft _____ in			
City	State	Zip	<input type="checkbox"/> Sign	<input type="checkbox"/> Accessory _____ ft _____ in			
Telephone			Is this permit application to resolve a violation?				
Email			<input type="checkbox"/> Yes	<input type="checkbox"/> No			
Describe Proposed Work:							
<p>Remove & Replace HC Ramp Access to make A place of Refuge / 8" or Below Upgrade Deck 16' X 18' w/ Railings Around Entire Deck</p>							

GSA Form 101

revised 8/7/14 jpr

Residential Building Permit Application Details							
Property Details				Construction Details			
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Water	<input checked="" type="checkbox"/>	Width	X	Length
Waterfront	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Sewer	<input checked="" type="checkbox"/>	Total Sq. Ft.		
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Well	<input checked="" type="checkbox"/>	Unfinished Basement	X	
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input checked="" type="checkbox"/>	Finished Basement	X	
ADC Map				Septic System	<input type="checkbox"/>	1st Floor	X
Zoning Classification	<u>D -</u>				2nd Floor	X	
Name of Waterway					3rd Floor	X	
Building Characteristics							
Bldg Height:	Existing	Proposed		Garage/Carpport	X		
Number of Stories				Porch	X		
Number of Bedrooms				Deck	<u>16</u>	X <u>18</u>	<u>280</u>
Number of Baths				Shed	X		
Smoke Detectors				Other			
Carbon Monoxide Detectors				Total Square Footage			
Fireplace				Total Finished Area- per ANSI Z765-2003			
Heating Fuel Type/AC				Cost of Work \$ <u>2500.00</u>			
Grading Permit # <u>118</u>							
Proposed Work to Include (check all that apply):							
Sprinklers	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Plumbing	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No		
Electric	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Heating/AC	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No		
Commercial Building Permit Application Details							
Use Group				Heating Fuel			
Construction Type				Number of Stories			
Existing Use				Building Height: Existing	Proposed		
Proposed Use				Number of Fire Alarms			
Number of Elevators				Total Square Footage			
Number of Standpipes				Sprinklered Area Square Footage			
Smoke Detectors							
The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.							
Signed				Date:	<u>6/28/2021</u>		
Owner/Agent							
Print Name: Brenda Fraley Garver							

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

Anne Arundel County, Maryland**Cash Receipt**

I&P 1253

07/10/2017

ANNE ARUNDEL COUNTY, MD
RIVIA
PERMIT REVENUE
Date / Time : 07/10/17 14:39
Payment : \$ 75.00
Receipt #: 9936518
Check/Credit Card #: 8841

DEPT/BUSINESS UNIT NUMBER

DATE

DEPT/BUSINESS UNIT NAME

PERMIT APPLICATION CENTER

RECEIVED OF

COCONUT CHARLIES LLC

ISSUED BY

GLJ1253

DISTRIBUTION

20567441/B02346891

PAID BY

(SEQUENCE/PERMIT NUMBER)

 ACCOUNTING.....WHITE
 CASHIER.....YELLOW
 ISSUING DEPT....PINK
 CUSTOMER.....GOLDENROD
VALIDATION

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
1253.5883			20567441/B02346891 DECK DECK	50.00
1253.5882			20567441/B02346891 DECK BLDG APP FEE	25.00

TOTAL

75.00

Anne Arundel County Permit Application Center

SITE REVIEW FIELD REPORT

DUE DATE 2017/07/24

APPLICATION DATE 2017/07/10

District 3
3000-9001-8604

Permit# B02346891

Address: 9131 FT SMALLWOOD RD

TaxMap 18 Block 01 Parcel0008 Lot

Owner: JACKSON RALPH G

2102

PROP DESC 2 ACRES

Subd: ROCK CREEK

Proposed Work REMOVE EX. RAMP & RPL. WITH 16X18 DECK & (2) NEW

4X8 RAMPS

STREET SURFACE WIDTH DRAINAGE CONTROLS

Comments on roads/drainage/traffic:

(1)

Waterfront Critical Area Non tidal Wetlands Yes No Possible NO ONSITE
 Driveway Improvements Design Plate SWM

Sight Distance Right Left Obstructions

Inspectors Comments: LOP = 5000 PER SCS

Maryland Dept.
INSPECTOR DATE 7/13/2017

Review Engineer Comments:

SWM Required Yes No C.A.Designation

Area of Disturbance

Review Engineer

DATE

bw

*Revised
7/13/2017*

LOP = 5000 per SCS

7/13/2017

GJ



Heritage Office 2664 Riva Road
Annapolis, Maryland 21401

**DEPARTMENT OF INSPECTIONS & PERMITS
STANDARD GRADING PLAN APPLICATION**

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Tax Account Number 3-000-9001-6604 Building Permit # B02346891

Subdivision Name (if applicable) Rock Creek Lot _____ Block _____

Location 9131 FT Smallwood Rd Pasadena MD 21122
Number _____ Street _____ Post Office _____

Owner Jackson, Ralph
Name 9131 FT Smallwood Rd Pasadena MD Phone _____
Address Demolish old Ramp State _____ Zip 21122

Proposed Work CONSTRUCT A HCR Ramp + Decking

NO more than 8" above grade For SAR Access.

Critical Area Designation NA Distance from water to disturbed area N/A ft.

Steepest slope disturbed 1 % Lot size 2 ACRES Area to be disturbed 500 sq. ft.

I/we certify that I/we have the authority to make this application; that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed/construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature Brenda Garner Date 6-22-2017

Applicant's Name (Please Print) Permit Services Inc.
Company Name – If a Corporation

Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.

the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.

Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector Sharon Jacob Sign and Print SHARON JACOB Date 7/13/2017

SPECIAL CONDITIONS:

**ANNE
ARUNDEL
COUNTY**
MARYLAND

DECK CONSTRUCTION GUIDE

2015 International Residential Code **GRAD.**

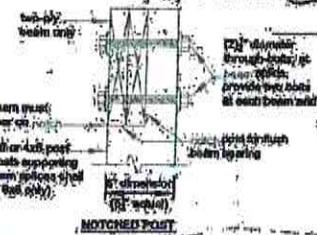
BUILDING PERMIT #: **B02346891**

DETACHED DECKS REQUIRE
MINIMUM 18" BELOW GRADE
FOOTING PER 8403.1.4

MINIMUM RAILING HEIGHT = 36" ABOVE
DECKING WHEN MORE THAN 30" ABOVE THE
GRADE. ATTACH RAILING POST TO DECK
WITH 3/8" LAG OR CARRIAGE-BOLTS WITH
WASHERS.

Post Size	Maximum Height	Notes
4x4	8'-0"	
4x6	8'-0"	
6x6	14'-0"	
8x8	16'-0"	Posts supporting 8 beam shall be 8x8 ONLY

MINIMUM 30"
BELOW GRADE



POST-TO-BEAM CONNECTIONS

BEAM SIZE **2 x 8** @ 6 ft. max. span

Beam Span Table:

Beam Size	Maximum Span
2 (2x6)	6'-0"
2 (2x8)	8'-0"
2 (2x10)	7'-0"
2 (2x12)	8'-0"

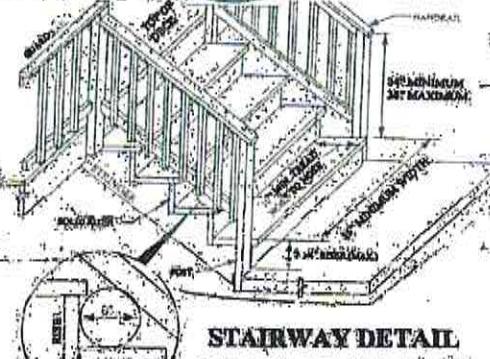
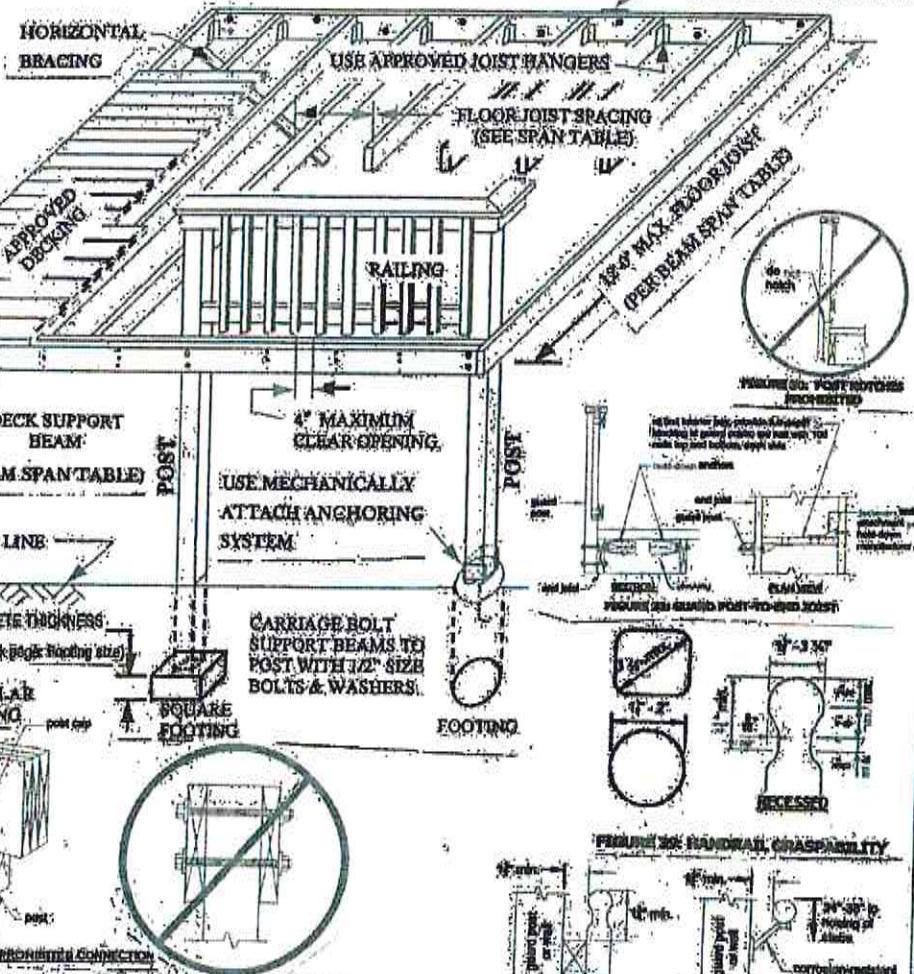
NOTE: Beam floor loads at mid-span. In excess of 6'-0" will require beam upgrade or intermediate beams. Provide layout drawings to scale showing footing & beam locations. Southern Pine #2 PT.

FLOORJOIST: **2 x 8** @ 16" o.c.
FLOOR JOIST CANTILEVER: 4 ft.

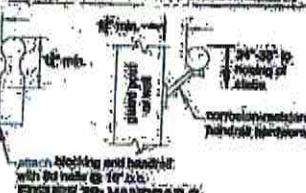
Floor Joist Span Table

Floor Joist Size	Floor Joist Spacing	Maximum Cantilever
2x6	12'-0"	9'-0"
2x8	13'-3"	11'-0"
2x10	16'-2"	14'-0"
2x12	18'-9"	16'-0"

NOTE: Lumber species & grade = Southern Pine #2 PT.



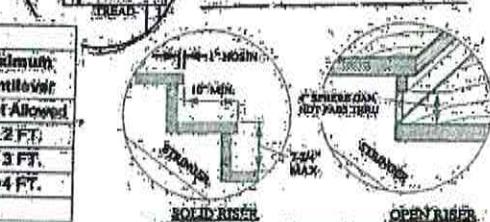
FEATURES OF HANDRAILS



NOTES:

- All decking must rest on undisturbed soil.
- Minimum footing size: 16" square or 16" Sonotube. (See back page Table 4: Footing Size.)
- DO NOT attach deck ledger to overhanging floor system OR a 2nd beam is required.
- Corrosion-resistant fasteners required for all connections.
- Decks are NOT APPROVED for future hot tubs.
- Maintain 20 feet minimum separation from wall.
- DO NOT support framing loads on existing chimney.
- Stairways shall be designed & constructed for a concentrated load of 200 lbs. applied at any point along the top railing member.
- Handrail portion of handrail shall not be more than 2" in cross section with smooth surface.
- Basement door headroom clearance = 6'-8" (min).
- Basement egress window path = 36" (min) clear height.

continued @ back page...



Prohibited ledger attachments. The ledger board attachment conditions shown below are prohibited. In such cases, the deck shall be free-standing.

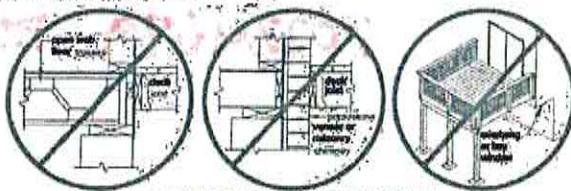


FIGURE 1A: PROHIBITED LEDGER ATTACHMENTS

SECTION 10: LEDGER BOARD FASTENERS

General requirements. Ledger board fasteners shall be installed in accordance with this section. Placement and spacing shall be in accordance with FIGURE 10 and TABLE 5. Only three fastener types noted herein are approved for use; fasteners are prohibited. Adequacy of connections will be verified by county inspectors.

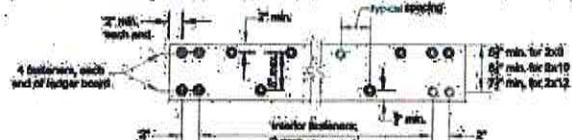


FIGURE 1B: LEDGER BOARD FASTENER SPACING AND CLEARANCES

TABLE 5: LEDGER BOARD FASTENER SPACING, ON-CENTER

Fastener	Joint Span less than or equal to:					
	8"	10"	12"	14"	16"	18"
Lag Screws	BWP	24"	18"	14"	12"	10"
	2x lumber	30"	23"	18"	15"	13"
Through Bolts	BWP	24"	18"	14"	12"	10"
	2x lumber	30"	26"	24"	20"	18"
Wood Screws ¹	1/4" BWP	18"	13"	11"	8"	7"
	2x lumber	19"	14"	11"	8"	7"
Expansion Anchors	-	36"	30"	34"	28"	24"
Adhesive Anchors	-	32"	32"	32"	24"	24"

¹ Wood screws must be galvanized wood screws; see Page 7 for more information.

Wood screws shall be punched in to prevent overdriving. If this results in loss of value in TABLE 5.

Through-bolts. Through-bolts shall have a minimum 1/4-inch diameter. Pilot holes for through-holes shall be 7/16 to 15/16 inches in diameter. Through-bolts must be equipped with washers at the bolt head and nut. Bolts should be tightened six to 12 seconds after construction due to drying and wood shrinkage.

Expansion anchors. Expansion anchors shall be used only when attaching a ledger board to a concrete or solid masonry wall as shown in FIGURE 13. The bolt or threaded rod of expansion anchors shall have a 1/4-inch diameter minimum; in some cases, this may require a 1/2-inch anchor size. Expansion anchors must be installed per manufacturer's instructions and shall be equipped with washers.

Adhesive anchors. The adhesive anchors listed in TABLE 6 with a minimum 1/4-inch diameter threaded rod shall be used when attaching to hollow masonry as shown in FIGURE 14. Adhesive anchors are also permitted with concrete or solid masonry installations. Anchors shall be installed per manufacturer's instructions and shall be equipped with washers. Adhesive cartridges must be run on the ledger for inspector verification.

TABLE 6: APPROVED ADHESIVE ANCHORS

Manufacturer	Product
ITW Fasten/Rod Head	Fasten-Acc-In 7
ITW	HY-20

Lag screws. Lag screws shall be hot-dipped galvanized or stainless steel with a 1/2-inch minimum diameter. Length and shank requirements shall be in accordance with FIGURE 17. Lag screws shall be equipped with washers and installed in the sequence below:

1. Drill a 1/8-inch diameter hole in the ledger board and a 1/2-inch diameter pilot hole into the solid connection material of the existing house.
2. Insert the lag screw through the ledger board and into the pilot hole by tapping. Do not drive with a hammer. Use soap or a wood-compatible lubricant as required to facilitate tightening.
3. Tighten each lag screw snugly, but do not over tighten so as to cause wood damage.

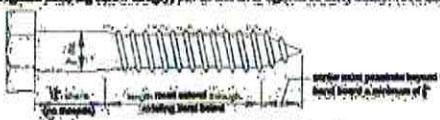


FIGURE 1C: LAG SCREW

Wood screws. The wood screws listed in TABLE 7 with a 1/4-inch diameter may be used to attach to wood-framed construction. Wood screws shall have a sufficient length to fully penetrate the existing house board. Installation shall be in conformance with the manufacturer's instructions.

TABLE 7: APPROVED WOOD SCREWS

Manufacturer	Product
Fasten-Lok	Fasten-Lok
Standard String-Tie	String-Tie Screw (SDG, SDW)

FIGURE 1D: FOOTINGS

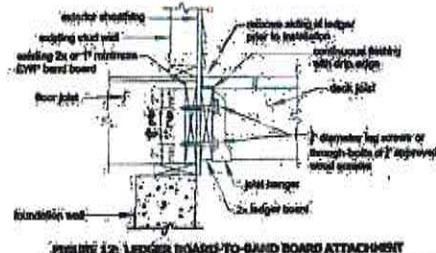
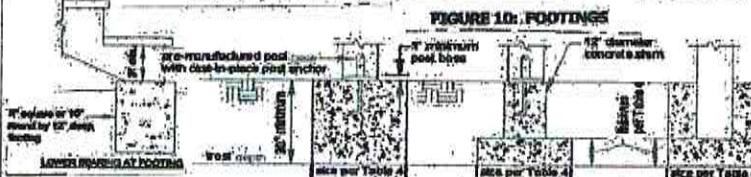


FIGURE 1E: LEDGER BOARDS TO SAWED BOARD ATTACHMENT



FIGURE 1F: LEDGER BOARD TO SOLID FOUNDATION ATTACHMENT

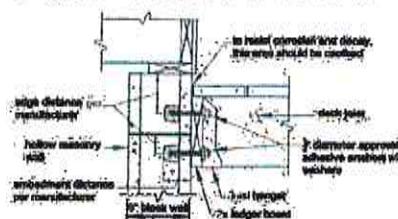


FIGURE 1G: LEDGER BOARD TO HOLLOW FOUNDATION ATTACHMENT

SECTION 13: LATERAL SUPPORT

All decks greater than 30 inches above grade must resist lateral load using one of the applicable methods noted below:

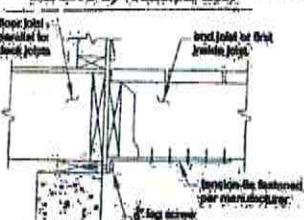
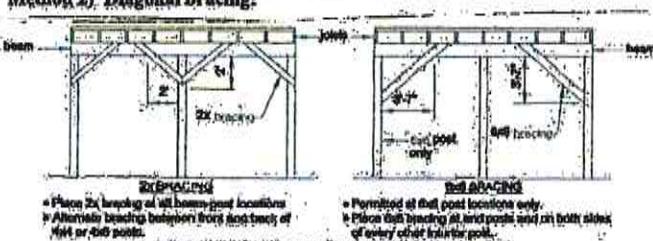
Method 1) Tension-ties:

FIGURE 2A: TENSION-TIE CONNECTION

Method 2) Diagonal bracing:

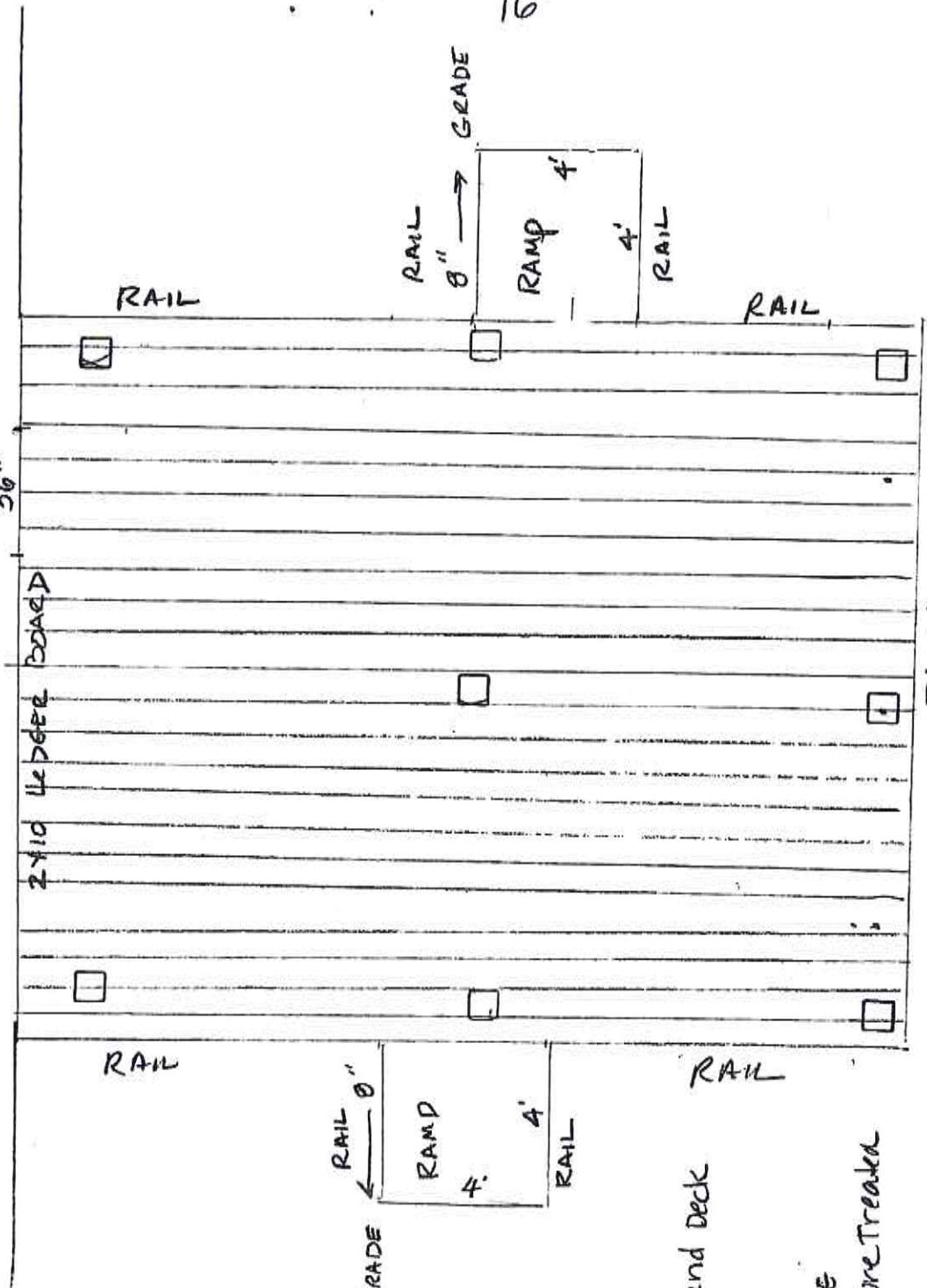
• Place 2x bracing at all beam-post locations
• Alternative bracing between front and rear of 1/4" or 1/2" posts

• Permitted at first post locations only.
• Place 2x bracing at end posts and on both sides of every other four foot post.

TABLE 8: FOOTING SIZE

Beam Span less than or equal to:	Joint Span less than or equal to:	Size of Square:	Size of Round:	Minimum Thickness:
8"	10"	16"	18"	3"
	14"	16"	18"	3"
	18"	16"	18"	3"
12"	10"	16"	18"	3"
	14"	16"	18"	3"
	18"	20"	22"	10"
17"	10"	20"	22"	10"
	14"	20"	22"	10"

EXISTING BUILDING

EXISTING
DOOR
36"

16

EXISTING
RAIL

18'

36" HIGH RAILS ALL AROUND DECK
 6x6 POST ON
 24" X 24" X 30 CONC.
 FTG C 30" BEGIN GRADE
 ALL WOOD TO BE PRESSURE TREATED



Building Permit Application

REVISED
Well

 Permit Center
 2664 Riva Road
 Annapolis MD 21401

Permit Number	Fee
BOA351762	

Date	Tax Acct #	Perc #	UA/PWA#
1/11/2018	3000-9001-8604		

Site Address	9131 Fort Smallwood Road	Map	18	Block	0001	Parcel	0008	Lot(s)
--------------	--------------------------	-----	----	-------	------	--------	------	--------

City	PASADENA	State	MD	Zip	21122	Subdivision
------	----------	-------	----	-----	-------	-------------

Suite #	Tenant Name	Tenant Location
---------	-------------	-----------------

Property Owner Information			Contractor's Information		
Company Name			Lic Type & #	Company Name	

Name	Ralph Jackson	Name
------	---------------	------

Mailing Address	9131 Fort Smallwood Rd	Mailing Address
-----------------	------------------------	-----------------

City	PASADENA	State	MD	Zip	21122
------	----------	-------	----	-----	-------

Telephone	Telephone
-----------	-----------

Email	Email
-------	-------

Applicant Information			Engineer Information		
Company Name			Company Name		

Permit Services, Inc. # 805		
-----------------------------	--	--

Name			Name
------	--	--	------

Brenda Fraley Garver Samantha Mullinix		
--	--	--

Mailing Address			Mailing Address
-----------------	--	--	-----------------

2011 Fraley Lane		
------------------	--	--

City	Pasadena,	State	Md	Zip	21122
------	-----------	-------	----	-----	-------

Telephone			Telephone
-----------	--	--	-----------

410-360-2228 Cell 410-320-7368 Brenda		
---------------------------------------	--	--

Email			Email
-------	--	--	-------

Architect Information			Permit Type-Check One		
Company Name			New	Sprinklers	

DICK Parrish Design		
---------------------	--	--

Name			Addition
------	--	--	----------

DICK Parrish		
--------------	--	--

Mailing Address			Alteration/Repairs
-----------------	--	--	--------------------

22 Carroll Rd.		
----------------	--	--

City	Pasadena	State	Md	Zip	21122
------	----------	-------	----	-----	-------

Telephone			Sign
-----------	--	--	------

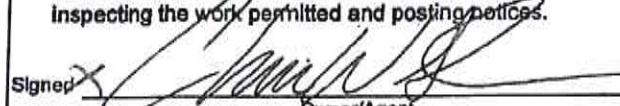
443 223 7678		
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Email		
-------	--	--

Is this permit application to resolve a violation?
 Yes No

Describe Proposed Work:

Revise Construct New Walls and Roof
 Foundation Where Needed New Floor System
 Same Footprint (Shell Only)
 Demo under 302348985)

Residential Building Permit Application Details									
Property Details					Construction Details				
Corner Lot	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Public Water	<input type="checkbox"/>	Width	<input checked="" type="checkbox"/>	Length	Total Sq. Ft.	
Waterfront	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Public Sewer	<input type="checkbox"/>	Unfinished Basement	<input checked="" type="checkbox"/>	X		
Critical Area	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Well	<input checked="" type="checkbox"/>	Finished Basement	<input checked="" type="checkbox"/>	X		
Bog Area	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Septic	<input checked="" type="checkbox"/>	1st Floor	<input checked="" type="checkbox"/>	X		
ADC Map					Mayo System	<input type="checkbox"/>	2nd Floor	<input checked="" type="checkbox"/>	
Zoning Classification	R - Non-Residential				Garage/Carport	<input checked="" type="checkbox"/>	3rd Floor	<input checked="" type="checkbox"/>	
Name of Waterway					Porch	<input checked="" type="checkbox"/>	Deck	<input checked="" type="checkbox"/>	
	Building Characteristics				Shed	<input checked="" type="checkbox"/>	Other		
Bldg Height:	Existing		Proposed		Total Square Footage				
Number of Stories					Total Finished Area- per ANSI Z765-2003				
Number of Bedrooms					Cost of Work	\$ 70,000			
Number of Baths					Grading Permit #	N/A			
Smoke Detectors					Proposed Work to Include (check all that apply):				
Carbon Monoxide Detectors					Sprinklers <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Plumbing <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Electric <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Heating/AC <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Fireplace									
Heating Fuel Type/AC									
Commercial Building Permit Application Details									
Use Group	A2				Heating Fuel				
Construction Type	SB				Number of Stories				
Existing Use	Bar				Building Height: Existing	Proposed			
Proposed Use	Bar				Number of Fire Alarms				
Number of Elevators	1				Total Square Footage				
Number of Standpipes	1				Sprinklered Area Square Footage				
Smoke Detectors	Yes								
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>									
Signed 					Date:	10-30-17			
Print Name: _____									

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.



Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401

Permit Number <i>B02351762</i>	Fee <i>\$140.00</i>	<i>1610.67+25 4P16.35 67 1495.67</i>			
Date <i>1/23/2018</i>	Tax Acct # <i>3000 - 9001 - 8604</i>	Perc # UA/PWA#			
Site Address <i>9131 Fort Smallwood Road</i>	Map <i>18</i>	Block <i>0001</i>	Parcel <i>0008</i>		
City <i>Pasadena</i>	State <i>MD</i>	Zip <i>21122</i>	Subdivision		
Suite #	Tenant Name	Tenant Location			
Property Owner Information		Contractor's Information			
Company Name		Lic Type & #	Company Name		
Name <i>Ralph Jackson</i>	Name				
Mailing Address <i>9131 Ft Smallwood Rd.</i>	Mailing Address				
City <i>Pasadena</i>	State <i>MD</i>	Zip <i>21122</i>	City	State	
Telephone	Telephone				
Email	Email				
Applicant Information		Engineer Information			
Company Name Permit Services, Inc., # 805		Company Name			
Name <i>Brenda Fraley Garver Samantha Mullinix</i>	Name				
Mailing Address <i>2011 Fraley Lane</i>	Mailing Address				
City <i>Pasadena,</i>	State <i>Md</i>	Zip <i>21122</i>	City	State	
Telephone <i>410-360-2228 Cell 410-320-7368 Brenda</i>	Telephone				
Email <i>Permitservicesinc@comcast.net</i>	Email				
Architect Information		Permit Type-Check One			
Company Name <i>Dick Parrish Design</i>		<input type="checkbox"/> New	<input type="checkbox"/> Sprinklers		
Name <i>Dick Parrish</i>		<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure-indicate heights of:		
Mailing Address <i>22 Carroll Rd</i>		<input checked="" type="checkbox"/> Alteration/Repairs	Principal _____ ft _____ in		
City <i>Pasadena</i>		<input type="checkbox"/> Sign	Accessory _____ ft _____ in		
Telephone <i>443 223 7678</i>		Is this permit application to resolve a violation?			
Email		<input type="checkbox"/> Yes	<input type="checkbox"/> No		
Describe Proposed Work: <i>Revise, Rebuild from Fire damage (shell only). per Engineer, new walls, truss roof, deck, foundation where needed, same footprint, new floor system. (DEMO Permit under B0238985)</i>					

Residential Building Permit Application Details							
Property Details				Construction Details			
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Water	<input type="checkbox"/>	Width	<input checked="" type="checkbox"/>	Length
Waterfront	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Sewer	<input type="checkbox"/>	Unfinished Basement	<input checked="" type="checkbox"/>	Total Sq. Ft.
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Well	<input checked="" type="checkbox"/>	Finished Basement	<input checked="" type="checkbox"/>	
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input type="checkbox"/>	1st Floor	<input checked="" type="checkbox"/>	
ADC Map	<hr/>			Mayo System	<input type="checkbox"/>	2nd Floor	<input checked="" type="checkbox"/>
Zoning Classification	<hr/>				3rd Floor	<input checked="" type="checkbox"/>	
Name of Waterway	<hr/>				Garage/Carpport	<input checked="" type="checkbox"/>	
Building Characteristics							
Bldg Height:	Existing	<hr/>	Proposed		Deck	<input checked="" type="checkbox"/>	
Number of Stories	<hr/>			Shed	<input checked="" type="checkbox"/>		
Number of Bedrooms	<hr/>			Other	<hr/>		
Number of Baths	<hr/>			Total Square Footage			
Smoke Detectors	<hr/>			<hr/>			
Carbon Monoxide Detectors	<hr/>			Total Finished Area- per ANSI Z765-2003			
Fireplace	<hr/>			<hr/>			
Heating Fuel Type/AC	<hr/>			Cost of Work			
Commercial Building Permit Application Details							
Use Group	<u>A - 2 S - 1</u>			Heating Fuel	<u>Electric</u>		
Construction Type	<u>51B</u>			Number of Stories	<u>1</u>		
Existing Use	<u>BAR / TAVERN</u>			Building Height: Existing	<u>✓</u>	Proposed	<hr/>
Proposed Use	<u>Same</u>			Number of Fire Alarms	<u>yes.</u>		
Number of Elevators	<u>no</u>			Total Square Footage	<u>3,500</u>		
Number of Standpipes	<u>no</u>			Sprinklered Area Square Footage	<u>no</u>		
Smoke Detectors	<u>yes.</u>						
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>							
Signed				Date:	<u>1/23/2018</u>		
Owner/Agent							
Print Name: <u>Samantha Mullinix</u>							

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.



Building Permit Application

Permit Center
2664 Riva Road
Annapolis MD 21401

CK 4729

Permit Number		Fee	+40			
1002351162		140.00	+40			
Date	Tax Acct #		Parc #	UAPWA#		
1-29-2017	3000-9001-8604					
Site Address		9131 Fort Smallwood	Map	18	Block	01
City	Pasadena	State	MD	Parcel	008	Lot(s)
Suite #	Tenant Name	Tenant Location				
	COCONUT Charlies					
Property Owner Information			Contractor's Information			
Company Name			Lic Type & #	Company Name		
Name			Name			
Jackson, Ralph						
Mailing Address			Mailing Address			
9131 Ft Smallwood						
City	Pasadena	State	MD	Zip	21122	
Telephone						
Email						
Applicant Information			Engineer Information			
Company Name			Company Name			
Name			Name			
BRENDA GARVER /Samantha Mullinix						
Mailing Address			Mailing Address			
2011 Fraley Lane						
City	PASADENA	State	MD	Zip	21122	
Telephone	410 360 2228 / 443 465 7832					
Email	permitservicesinc@comcast.net					
Architect Information			Permit Type-Check One			
Company Name			<input type="checkbox"/> New	<input type="checkbox"/> Sprinklers		
Name			<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure- Indicate heights of:		
Mailing Address			<input checked="" type="checkbox"/> Alteration/Repairs	Principal _____ ft _____ in		
City	State	Zip	<input type="checkbox"/> Sign	Accessory _____ ft _____ in		
Telephone						
Email						
Is this permit application to resolve a violation?						
<input type="checkbox"/> Yes <input type="checkbox"/> No						
Describe Proposed Work:						
Replace entire roof Damaged By Fire. Replace Non structural wall. Level top plate as needed to accommodate new trusses						

revised 8/7/14 jpr

Residential Building Permit Application Details							
Property Details				Construction Details			
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Solid Water	<input type="checkbox"/>	Width	X	Length
Waterfront	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Sewer	<input type="checkbox"/>			Total Sq. Ft.
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Well	<input checked="" type="checkbox"/>			
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input type="checkbox"/>			
ADC Map				Mayo System	<input type="checkbox"/>		
Zoning Classification							
Name of Waterway							
Building Characteristics							
Bldg Height:	Existing	Proposed					
Number of Stories							
Number of Bedrooms							
Number of Baths							
Smoke Detectors							
Carbon Monoxide Detectors							
Fireplace							
Heating Fuel Type/AC							
Total Square Footage							
Total Finished Area- per ANSI Z765-2003							
Cost of Work \$ <u>80,000.00</u>							
Grading Permit # <u>N/A</u>							
Proposed Work to Include (check all that apply):							
Sprinklers	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Plumbing	<input type="checkbox"/> Yes	<input type="checkbox"/> No		
Electric	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Heating/AC	<input type="checkbox"/> Yes	<input type="checkbox"/> No		
Commercial Building Permit Application Details							
Use Group	<u>A - Z S- 1</u>						
Construction Type	<u>5B</u>						
Existing Use	<u>Bar / Tavern</u>						
Proposed Use	<u>Same</u>						
Number of Elevators	<u>No</u>						
Number of Standpipes	<u>No</u>						
Smoke Detectors	<u>Yes</u>						
Heating Fuel	<u>Electric</u>						
Number of Stories	<u>1</u>						
Building Height: Existing	<u>/</u> Proposed						
Number of Fire Alarms	<u>Yes</u>						
Total Square Footage	<u>3,500</u>						
Sprinklered Area Square Footage	<u>No</u>						
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>							
Signed	<u>Brenda Gately Garver</u>						
Owner/Agent							
Date:	<u>1-10-2018</u>						
Print Name:	<u>Brenda Garver</u>						

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

Incident	1748694-000	Anne Arundel County Fire 8501 Veterans HWY Millersville, MD 21108 (410)222-8200						
Date and Time	07/28/2017 03:06:02							
Station	10							
Shift	A							
Member Making	000683 - Michael Mattison							
Officer In Charge	000613 - Robert Brewer							
Dates And Times		Location Information						
Alarm Time	07/28/2017 03:06:02	Type:	Street Address	Latitude	Station 10			
Arrival Time	07/28/2017 03:13:00	9129 FORT SMALLWOOD RD		Longitude	District 1010			
Controlled Time				Census Tract				
Last Unit Cleared	07/28/2017 08:46:10	Pasadena	MD 21122	Property Use	162 - Bar or nightclub			
Alarms	2	Injuries and Fatalities		Property Loss	\$200000	Value	\$200000	
IncidentType	111 - Building fire	Civilian Injury	0	Contents Loss	\$0	Value	\$0	
Mutual Aid	N - None	Civilian Death	0	Response Time	6183666 6.0	Actions	11 - Extinguish	
Detector Present	2 - None Present	Fire Fighter Injury	0	Units	55 # 2	51	- Ventilate	
Hazmat Release		Fire Fighter Death	0	Persons	57 # 3	52	- Forceable entry	
Area Of Origin	Other	Factor Contributing To Ignition			Undetermined			
Heat Source	Undetermined	Fire Suppression Factor						
Item First Ignited	Undetermined	Human Factor			None			
Material First Ignited	Undetermined							
Cause of Ignition	Cause under investigation							
Buildings Involved	1							
Residential Units								
Acres								
Structure Type	Enclosed building				Story Of Origin	1		
Structure Status	In normal use				Floors Above Grade	1		
Fire Spread	Confined to building of origin				Floors Below Grade	1		
Item Contributing to Flame Spread					Floors Damaged			
Material Contributing to Flame Spread					Minor			
Length	60				Significant			
Width	40				Heavy	1		
Area	2400				Extreme			
Unit	Dispatch	Enroute	Arrival	To Med	At Med	Cleared	In Service	In Quarters
E122	03:06:42	03:09:25	03:14:41			06:48:15		
TK13	03:06:42	03:10:02	03:16:56			06:49:27		
E201	03:08:26	03:11:14	03:17:11			06:48:06		
TK30	03:08:26	03:11:40	03:17:14			06:43:49		
TA40	03:08:26	03:12:45	03:34:48			06:34:54		
TA6	03:08:26	03:12:39	03:35:40			04:19:33		
E084	03:08:26	03:11:18	03:38:49			06:34:23		
E121	03:08:27	03:10:28	03:17:51			06:32:52		
E112	03:08:27	03:11:27	03:26:47			06:28:58		
TK33	03:08:27					03:09:21		
SQ43	03:08:27					03:09:32		
MU10	03:08:27	03:11:28	03:15:57			06:49:56		
BC02	03:08:28	03:09:40	03:23:32			06:58:21		
SAFE5	03:08:28	03:10:49	03:33:10			06:20:04		
E181	03:08:52	03:11:40	03:18:52			06:37:55		

Anne Arundel County, Maryland**Cash Receipt**

DEPT/BUSINESS UNIT NUMBER I&P 1253 DATE 12/01/2017

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF PERMIT SERVICES INC, 2011 FRALEY LANE, PA
SADENA, MD 21122

ISSUED BY LED1253 DISTRIBUTION

PAID BY 20576306/B02351762 ACCOUNTING.....WHITE
(SEQUENCE/PERMIT NUMBER) CASHIER....YELLOW
ISSUING DEPT....PINK
CUSTOMER... GOLDENROD

ACCOUNT NUMBER	SUBS/LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	ANNE ARUNDEL COUNTY, MD AMOUNT	RIVA AMOUNT
----------------	---------------------------	--------------------	----------------------	-----------------------------------	----------------

1253 5883	20576306/B02351762 RESTAURANT RESTAURANT			115.00
1253.5882	20576306/B02351762 RESTAURANT BLDG APP FEE			25.00

TOTAL

140.00

ANNE ARUNDEL COUNTY, MD Date / Time	12/01/17 10:48
AMT SC REVENUE	\$ 140.00
AMT PAYMENT	
Receipt #	10520424
Check/Credit Card #:	4729

Anne Arundel County, Maryland

Cash Receipt

DEPT/BUSINESS UNIT NUMBER I&P 1253 DATE 12/01/2017

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF PERMIT SERVICES

ISSUED BY LED1253 DISTRIBUTION

PAID BY 20576307/B02351762 ACCOUNTING.....WHITE
 (SEQUENCE/PERMIT NUMBER) CASHIER.....YELLOW
 ISSUING DEPT...PINK
 CUSTOMER.....GOLDENROD

ACCOUNT NUMBER	SUBS/LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	ANNE ARUNDEL COUNTY, MD AMOUNT	RIVA RECEIPT #
----------------	---------------------------	--------------------	----------------------	-----------------------------------	-------------------

1253 , 5887 20576307/B02351762 RESTAURANT INVESTIGATE FEE 40.00

VALIDATION

ANNE ARUNDEL COUNTY, MD
 REVENUE
 Date / Time
 Payment
 Receipt #
 Check/Credit Card #: A729

TOTAL

40.00



Lorine Duszynski <ipdusz15@aacounty.org>

Fwd: Re: 9131 Fortsmallwood Road

1 message

permitservicesinc <permitservicesinc@comcast.net>
To: ipdusz15@aacounty.org

Fri, Dec 1, 2017 at 10:34 AM

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Tom Gruver <hdgruv01@aacounty.org>
Date: 10/30/17 11:57 AM (GMT-05:00)
To: Brenda Fraley Garver <permitservicesinc@comcast.net>
Subject: Re: 9131 Fortsmallwood Road

If seating is not changing I would not require any upgrades to the existing septic system. With regards to food handling issues, including things like equipment removal, sink locations and such you should contact Charlotte Lewis @ 410-222-7274 or hdlewis1@aacounty.org.

On Thu, Oct 26, 2017 at 12:22 PM, Brenda Fraley Garver <permitservicesinc@comcast.net> wrote:

Dear Tom,

There is a temporary tarp roof on this structure with the winter coming the owner fears more damage will occur. They have limited funds to rebuild and need to make sure they can move forward. I sent this to you on October 4th and have made several calls since then. I would appreciate the courtesy of a call or return email. Please and Thank you

From: "Brenda Fraley Garver" <permitservicesinc@comcast.net>
To: hdgruv01@aacounty.org
Sent: Wednesday, October 4, 2017 12:30:15 PM
Subject: 9131 Fortsmallwood Road

Dear Tom,

They are replacing any damaged walls, floor system in kind, the roof structure completely. Removing all the Kitchen Equipment. The bathroom fixture count will remain the same. 3-000-9001-8604 The Food Service number is #0020091055

Please let me know after you have time to evaluate this. As stated they don't have a lot of money to rebuild and need to find out the cost associated with all expenses.

Thank you for your time.

Brenda Fraley Garver

President

Permit Services, Inc.
2011 Fraley Lane
Pasadena, MD 21122



Heritage Office 2664 Riva Road
Annapolis, Maryland 21401

Grading

DEPARTMENT OF INSPECTIONS & PERMITS
STANDARD GRADING PLAN APPLICATION

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Tax Account Number

3-000-9001 8604

Building Permit #

B02351162

Subdivision Name (if applicable) Rock Creek

Lot _____ Block _____

Location 9131 FT Smallwood ROAD

21122

Number Street

Post Office

Owner Jackson, Ralph

Name 9131 FT Smallwood Rd Pasadena 21122

Address

FIRE

State

Zip

Proposed Work Replace damaged ROOF + Damaged
exterior walls

Critical Area Designation N/A Distance from water to disturbed area N/A ft.

Steepest slope disturbed 2% Lot size 2 Acres Area to be disturbed 200 sq. ft.

I/we certify that I/we have the authority to make this application; that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed/construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature *Michele* Date 11-29-2017

Applicant's Name (Please Print) *Permit Services, Inc.*
Company Name - If a Corporation

Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

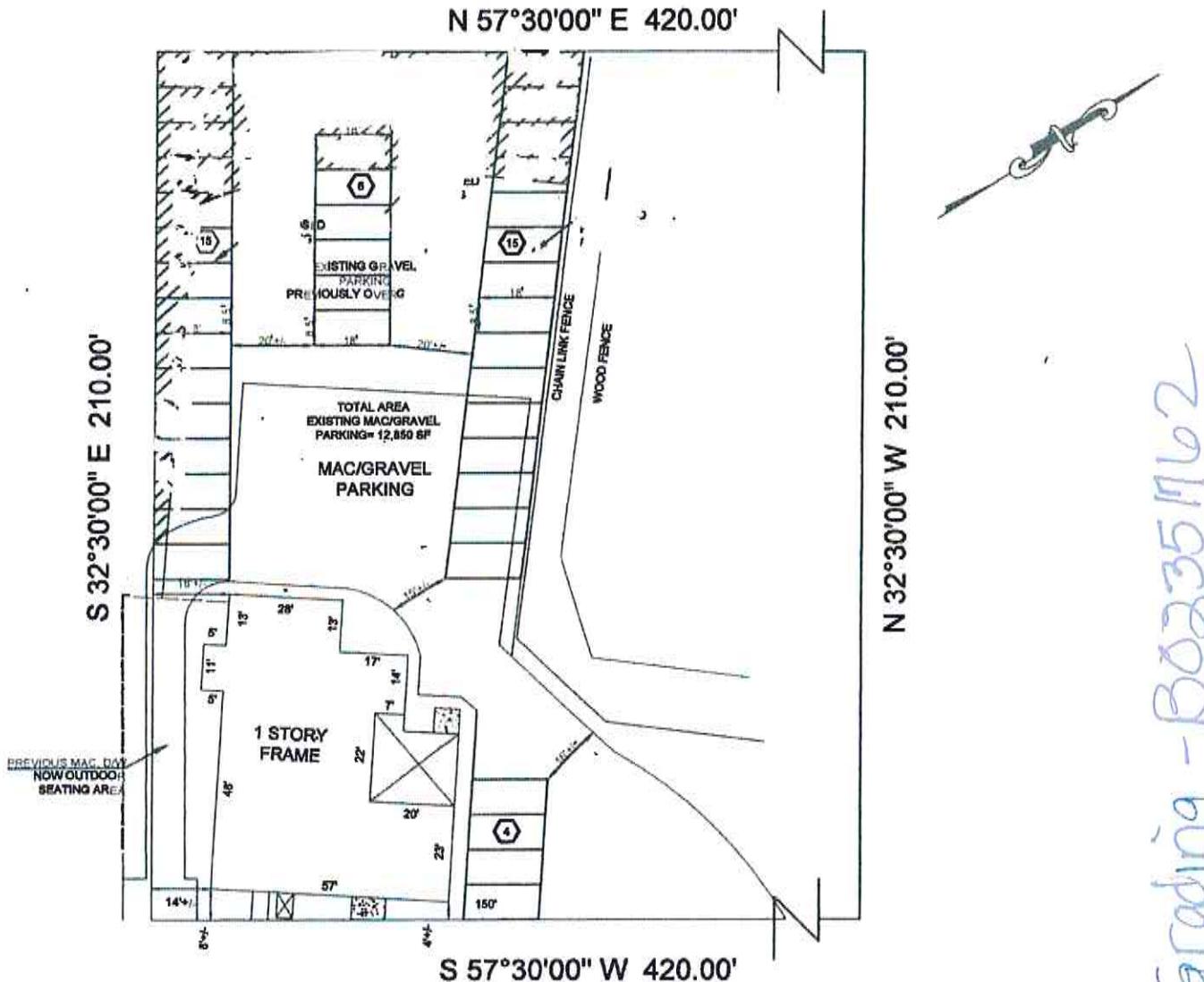
- the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.
- the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.
- Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector: *Michele Jacobs*

Sign and Print *Michele Jacobs*

Date 12/5/2017

SPECIAL CONDITIONS:



THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

CONCRETE

LOCATION DRAWING:
I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON, AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1" +/-

Walter T. Tydings
Property Line Surveyor # 150

Date

GENERAL NOTES
1). THIS PLAT IS OF BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OF A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH A CONTEMPLATED TRANSFER, FINANCING, OR RE-FINANCING.

2). THIS PLAT IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR ANY OTHER FUTURE IMPROVEMENTS.

3). THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THIS TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

Schulte & Assoc. Inc.

4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address:	Property Description
9131 FORT SMALLWOOD RD. PASADENA, MD 21122	
Date: 10/05/09	Job #: 9376

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
DDFD RFF # 6560718

DICK PARRISH DESIGN

22 CARROLL ROAD

PASADENA, MD 21122

443-223-7678

Dickp2@verizon.net

January 9, 2018

Permit Application Center

Records Management Division

2664, Riva Road

Annapolis, MD 21401

Re: Coconut Charlies Bar/Restaurant B02351762

Respond to comments dated 12/12/2017

This permit is shell only and is to repair fire damage and structural deficiencies.

FIRE-BUILDING CODE- HARBERTS

Comments from letter dated 12-12-2017 are noted.

Signed and sealed truss drawings will be available on site.

A structural engineer has inspected the building and found several deficiencies. These plans reflect what is needed to correct those problems such as repairs to foundation and reconstruction of deck and exterior walls. New exterior walls will be 2x6 at 2' o.c. and 8' nominal height.

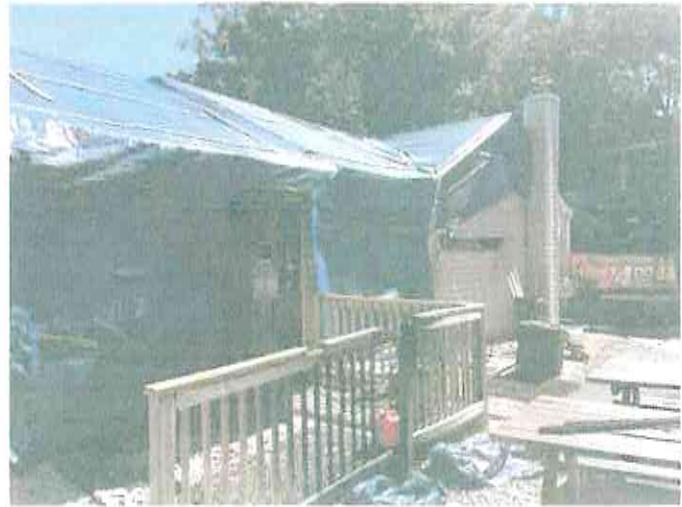
The structural engineer has signed and sealed foundation, walls and truss roof plans.

Sincerely,



Dick Parrish

IPD131C/MS3A	DISPLAY PERMIT INFORMATION	BUILDING PERM	OFFICE A
	=====	NBR B02351762	INIT TLT1253
===== PROPERTY =====		NXT B02351763	
9131 FT SMALLWOOD RD	===== CONTRACTOR/LICENSEE =====		
PASADENA MD 21122	OWNER		
TAX ACCT NBR 3000 - 9001 - 8604	XXXXXXXXXXXXXXXXXXXX		
SUBDIV: ROCK CREEK	XXXXXXX, XX 11111		
TAX MAP 18 ACREAGE 2.000	PHONE -	LIC # CTR - 003157	
BLOCK(ST) 01 LOT			
PARCEL 0008 SECTION			
DEED 06560-718 BLOCK			
PR DESC: 2 ACRES			
=====			
ADC - TENANTS COCONUT CHARLIES			
LOCATION			
TYPE OF IMPROVEMENT: ALT	TYPE OF USE: RES		
PROPOSED USE.....: RPL ENTIRE ROOF*FIRE DAMAGE*,RPL NON-STRUCTL WALL			
PROPSD WORK LINE1: LEVEL TOP PLATE TO ACCOMODATE NEW TRUSSES (INT ALTS			
LINE2: REQUIRE SEPARATE PERMIT) SEALED PLANS RV 1/16/18TT			
PERMIT DATES.....: APP: 12/01/17 ISS:	CMP: EXP:		
INT:	ACTIVE VIOLATION EXISTS		
CURRENT STATUS....: P REV IND: RNW:	PROJECT #:		
PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF9=NEXT PF12=EXIT			







Page: 1 Document Name: Untitled

IPD131C/MS3A DISPLAY PERMIT INFORMATION BUILDING PERM OFFICE A
 ===== NBR B02351762 INIT TLT1253
 ===== PROPERTY ===== NXT B02351763
 9131 FT SMALLWOOD RD ====== CONTRACTOR/LICENSEE ======
 PASADENA MD 21122 OWNER
 TAX ACCT NBR 3000 - 9001 - 8604 XXXXXXXXXXXXXXXXXXXX
 SUBDIV: ROCK CREEK XXXXXX, XX 11111
 TAX MAP 18 ACREAGE 2.000 PHONE - LIC # CTR - 003157
 BLOCK(ST) 01 LOT
 PARCEL 0008 SECTION
 DEED 06560-718 BLOCK
 PR DESC: 2 ACRES
 =====
 ADC - TENANTS COCONUT CHARLIES
 LOCATION
 TYPE OF IMPROVEMENT: ALT TYPE OF USE: RES
 PROPOSED USE.....: RPL ENTIRE ROOF*FIRE DAMAGE*,RPL NON-STRUCTL WALL
 PROPSD WORK LINE1: LEVEL TOP PLATE TO ACCOMODATE NEW TRUSSES(INT ALTS
 LINE2: REQUIRE SEPARATE PERMIT) SEALED PLANS RV 1/16/18TT
 PERMIT DATES....: APP: 12/01/17 ISS: CMP: EXP:
 INT: ACTIVE VIOLATION EXISTS
 CURRENT STATUS...: P REV IND: RNW: PROJECT #:
 PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF9=NEXT PF12=EXIT

4-② 2 Sess-1 10.123.99.2 P144 3/57

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IPD13BC/MS3B DISPLAY BUILDING PERMIT INFORMATION OFFICE A
===== B02351762 INIT TLT1253

=====LOT CHARACTERISTICS===== ===BUILDING CHARACTERISTICS==

AREA	LEN	WIDTH	CORNER LOT	N	EXISTING USE	RES
1	0	0	WATER FRONT LOT	N	BUILDING HEIGHT (FT)	0
2	0	0			NUMBER OF STORIES	0
					NUMBER OF ELEVATORS	0
					NUMBER OF STANDPIPES	0
RESIDENTIAL PERMITS ONLY:					TYPE OF OWNERSHIP	PR
FINISHED AREA 0					TYPE OF CONSTRUCTION	5B
					SMOKE DETECTORS (Y/N)	
					SEWAGE DISPOSAL TYPE	SEP
					WATER SUPPLY TYPE	WELL
					HEATING FUEL	
					NBR OF FIRE ALARMS	0
GRADING PERMIT					TOTAL AREA SQ FT	0
					SPRINK. AREA SQ FT	0
UTILITY AGREE PW AGREE CRIT AREA					CONTRACT COST OF WORK \$	20000
				N	COUNTY COST OF WORK \$	20000

PF1=BWD PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF12=EXIT

4-©

2

Sess-1

10.123.99.2

P144

1/1

Page: 1 Document Name: Untitled

IPD133C	PROJ	DISPLAY	PERMIT(FEES)	B02351762	INIT	TLT1253	OFF A
FEE	TYPE	FEE DUE	FEE PAID	OUTSTANDING	TRANS	DATE	RECEIPT
01	RESTAURANT	\$ 115.00	\$ 115.00	\$.00		12/01/2017	10520424
02	BLDG APP FEE	\$ 25.00	\$ 25.00	\$.00		12/01/2017	10520424
03	TRANSPORT. IMP.	\$.00	\$.00	\$.00			
04	SCHOOL FEE IMP.	\$.00	\$.00	\$.00			
05	PBLC SFTY IMP	\$.00	\$.00	\$.00			
06	OFF-SITE DRAIN	\$.00	\$.00	\$.00			
07	WATER CAP CONN	\$.00	\$.00	\$.00			
08	SEWER CAP CONN	\$.00	\$.00	\$.00			
09	ODENTON TWN CTR	\$.00	\$.00	\$.00			
10	HEALTH PLAN REV	\$.00	\$.00	\$.00			
11	LNDSCP SECURITY	\$.00	\$.00	\$.00			
12	LNDSCP INSP FEE	\$.00	\$.00	\$.00			
13	MOD - OPZ	\$.00	\$.00	\$.00			
14	MOD - PC	\$.00	\$.00	\$.00			
15	CIVIL CITATION	\$.00	\$.00	\$.00			
16	COPY/RETRIEVE	\$ 57.50	\$ 57.50	\$.00	01/17/2018		
17		\$.00	\$.00	\$.00			
18		\$.00	\$.00	\$.00			
19		\$.00	\$.00	\$.00			
20	REINSPECTION	\$ 40.00	\$ 40.00	\$.00			10520426
TOTAL FEES		\$ 237.50	\$ 237.50	\$.00			
F1=BWD F2=FEES F3=PROJ		F4=INSP HIST	F5=APPR	F6=FEE HIST	F7=LIC	F12=EXIT	
4-@	2	Sess-1	10.123.99.2		P144		1/1



Building Permit Application

REVISEDPermit Center
2664 Riva Road
Annapolis MD 21401

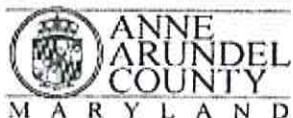
Permit Number 1002351762	Fee						
Date 1/11/2018	Tax Acct # 3000-9001-8604	Perc #	UA/PWA#				
Site Address 9131 FORT SMALLWOOD Road	City PASADENA	State Md	Zip 21122	Map 18	Block 0001	Parcel 0008	Lot(s)
Suite #	Tenant Name	Tenant Location					
Property Owner Information				Contractor's Information			
Company Name				Lic Type & #	Company Name		
Name Ralph Jackson				Name			
Mailing Address 9131 FORT SMALLWOOD Rd				Mailing Address			
City Pasadena				City	State	Zip	
Telephone				Telephone			
Email				Email			
Applicant Information				Engineer Information			
Company Name Permit Services, Inc. # 805				Company Name			
Name Brenda Fraley Garver Samantha Mullinx				Name			
Mailing Address 2011 Fraley Lane				Mailing Address			
City Pasadena,		State Md	Zip 21122	City	State	Zip	
Telephone 410-360-2228 Cell 410-320-7368 Brenda				Telephone			
Email Permitservicesinc@comcast.net				Email			
Architect Information				Permit Type-Check One			
Company Name DICK Parrish Design				<input type="checkbox"/> New	<input type="checkbox"/> Sprinklers		
Name DICK Parrish				<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure-Indicate heights of:		
Mailing Address 22 Carroll Rd.				<input checked="" type="checkbox"/> Alteration/Repairs	Principal _____ ft _____ in		
City Pasadena		State Md	Zip 21122	<input type="checkbox"/> Sign	Accessory _____ ft _____ in		
Telephone 443 223 7678				Is this permit application to resolve a violation?			
Email				<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No		
Describe Proposed Work: REVERSE CONSTRUCT NEW WALLS AND RECAST FOUNDATION WHERE NEEDED NEW FLOOR SYSTEM SAME FOOTPRINT (Shell only) Demo under 302348985)							

Residential Building Permit Application Details								
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				<input type="checkbox"/> Public Water <input checked="" type="checkbox"/> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				<input type="checkbox"/> Public Sewer <input checked="" type="checkbox"/> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				<input type="checkbox"/> Well <input checked="" type="checkbox"/> <input type="checkbox"/> Septic <input type="checkbox"/>				
ADC Map _____				<input type="checkbox"/> Mayo System <input type="checkbox"/>				
Zoning Classification _____								
Name of Waterway _____								
Building Characteristics								
Bldg Height:	Existing _____	Proposed _____						
Number of Stories								
Number of Bedrooms								
Number of Baths								
Smoke Detectors								
Carbon Monoxide Detectors								
Fireplace								
Heating Fuel Type/AC								
Construction Details								
	Width	X	Length	Total Sq. Ft.				
Unfinished Basement	X							
Finished Basement	X							
1st Floor	X							
2nd Floor	X							
3rd Floor	X							
Garage/Carport	X							
Porch	X							
Deck	X							
Shed	X							
Other								
Total Square Footage _____								
Total Finished Area- per ANSI Z765-2003 _____								
Cost of Work	\$ <u>80,000.00</u>							
Grading Permit #	<u>N/A</u>							
Proposed Work to Include (check all that apply):								
Sprinklers <input type="checkbox"/> Yes <input type="checkbox"/> No	Plumbing <input type="checkbox"/> Yes <input type="checkbox"/> No							
Electric <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Heating/AC <input type="checkbox"/> Yes <input type="checkbox"/> No							
Commercial Building Permit Application Details								
Use Group	<u>A - Z S- 1</u>							
Construction Type	<u>5B</u>							
Existing Use	<u>Bar / Tavern</u>							
Proposed Use	<u>Same</u>							
Number of Elevators	<u>0</u>							
Number of Standpipes	<u>0</u>							
Smoke Detectors	<u>Yes</u>							
Heating Fuel	<u>Electric</u>							
Number of Stories	<u>1</u>							
Building Height: Existing	<u>/</u>				Proposed _____			
Number of Fire Alarms	<u>Yes.</u>							
Total Square Footage	<u>3,500</u>							
Sprinklered Area Square Footage	<u>No</u>							
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>								
Signed:	<u>Brenda Garver</u>							
Owner/Agent	Date: <u>1-10-2018</u>							
Print Name:	<u>Brenda Garver</u>							

Divisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the applicant of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is the responsibility of the Land Records Office of the Anne Arundel County Clerk of the Court's office to be checked to determine whether or not covenants or restrictions regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

Page: 1 Document Name: Untitled

IPD180C/MSF8		PERMIT FEE CALCULATOR		=====FEE AMOUNTS=====	
PERMIT TYPE	B	IMP TYPE	SHL USE	TYPE RES	
=====FEE FACTORS=====					
CONTRACT COST OF WORK	\$	80000		01 PERMIT FEE	\$ 1,605.52
TOTAL AREA	SQ FT	3500		02 BLDG APP FEE	\$ 25.00
SPRINKLERED AREA	SQ FT	0		03 TRANSPORT. IMP.	\$ 0.00
ELECTRICAL SERVICE	AMPS	0		04 SCHOOL FEE IMP.	\$ 0.00
NBR OF FIRE ALARM STATIONS		0		05 PBLC SFTY IMP	\$ 0.00
NUMBER OF STORIES		1		06 OFF-SITE DRAIN	\$ 0.00
NUMBER OF STANDPIPES		0		07 WATER CAP CONN	\$ 0.00
NUMBER OF ELEVATORS		0		08 SEWER CAP CONN	\$ 0.00
SMOKE DETECTORS (YES/NO)	N			09 ODENTON TWN CTR	\$ 0.00
TYPE OF CONSTRUCTION		5B		10 HEALTH PLAN REV	\$ 0.00
HEATING+MOTOR+OTHER (KW)	.	00		11 ALLOC INTEREST	\$ 0.00
NUMBER OF OUTLETS		0		12 CA SWM FEE	\$ 0.00
NUMBER OF FIXTURES		0		13 CA SWM SECURITY	\$ 0.00
PIPE SIZE		0		14 CA FEE-IN-LIEU	\$ 0.00
DUCTED + NON-DUCTED ROOMS		0		15 CA SECURITY	\$ 0.00
TOTAL APT UNITS		0		16 CA INSPECT FEE	\$ 0.00
				17 FCA FEE-IN-LIEU	\$ 0.00
				18 FCA SECURITY	\$ 0.00
				19 FCA INSPECT FEE	\$ 0.00
<hr/>			<hr/>		
BOCA CALCULATION	234360		PAGE FEES	\$	1,630.52
PF1=PAGE 1	PF2=PAGE 2	PF10=MORE	PF12=EXIT	TOTAL FEES	\$ 1,630.52



Tracie Reynolds <ipreyn26@aacounty.org>

Re: Request for Public Records

1 message

Tracie Reynolds <ipreyn26@aacounty.org>

To: davidnmabreylaw@gmail.com

Thu, Oct 22, 2020 at 1:38 PM

Dear Mr. Mabrey:

This email is in response to your request for records available, pursuant to the Maryland Public Information Act, Maryland State Government Code Annotated, §§ 4-100, et seq. (the "Act") regarding archived building permit file B02348985 for 9131 Ft. Smallwood Road, Pasadena.

I am in receipt of your check for \$57.50 to retrieve the file from archives, thank you. Your receipt is attached to this email and I will mail the hardcopy to you via the USPS.

Please be advised the records responsive to your request are attached.

Sincerely,

On Tue, Oct 13, 2020 at 9:18 AM Tracie Reynolds <ipreyn26@aacounty.org> wrote:

Dear Mr. Mabrey:

This email is in response to your request for records available, pursuant to the Maryland Public Information Act, Maryland State Government Code Annotated, §§ 4-100, et seq. (the "Act") regarding building permit and code compliance files for Coconut Charlies, 9131 Ft. Smallwood Road, Pasadena.

Please be advised that a search was conducted and the records responsive to your request are attached.

Building permit file B02348985 has been archived. There is a retrieval fee of \$57.50 per file charged by our record retention vendor which is payable in advance by check or cash only. If you agree to the fee please send a check in the amount of \$57.50 payable to Anne Arundel County to my attention at the address listed below. Once I receive your payment I will order the file.

Please be advised that we do not know what documents are in the file until we receive it from archives and cannot guarantee that the information you have requested is included. Also, please be advised that additional copy charges may apply if copies are requested.

Anne Arundel County, Maryland**Cash Receipt**

DEPT/BUSINESS UNIT NUMBER	I&P 1253	DATE	10/22/2020	RTU
DEPT/BUSINESS UNIT NAME	PERMIT APPLICATION CENTER			
RECEIVED OF	LAW OFFICES OF DAVID N. MABREY			
ISSUED BY	TXR1258	DISTRIBUTION		
PAID BY (SEQUENCE/PERMIT NUMBER)	20637828/B02348985 ACCOUNTING.....WHITE CASHIER.....YELLOW ISSUING DEPT.....PINK CUSTOMER.....GOLDENROD			
ACCOUNT NUMBER	SUBS/LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
1253.6469			20637828/B02348985 DEMOLITION COPY/RETRIEVE	57.50
				VALIDATION

20637828/B02348985 +
DEMOLITION
COPY/RETRIEVE 57.50

TOTAL

57.50

PZ
GradingPermit Center
2664 Riva Road
Annapolis MD 21401

Building Permit Application

REVISED

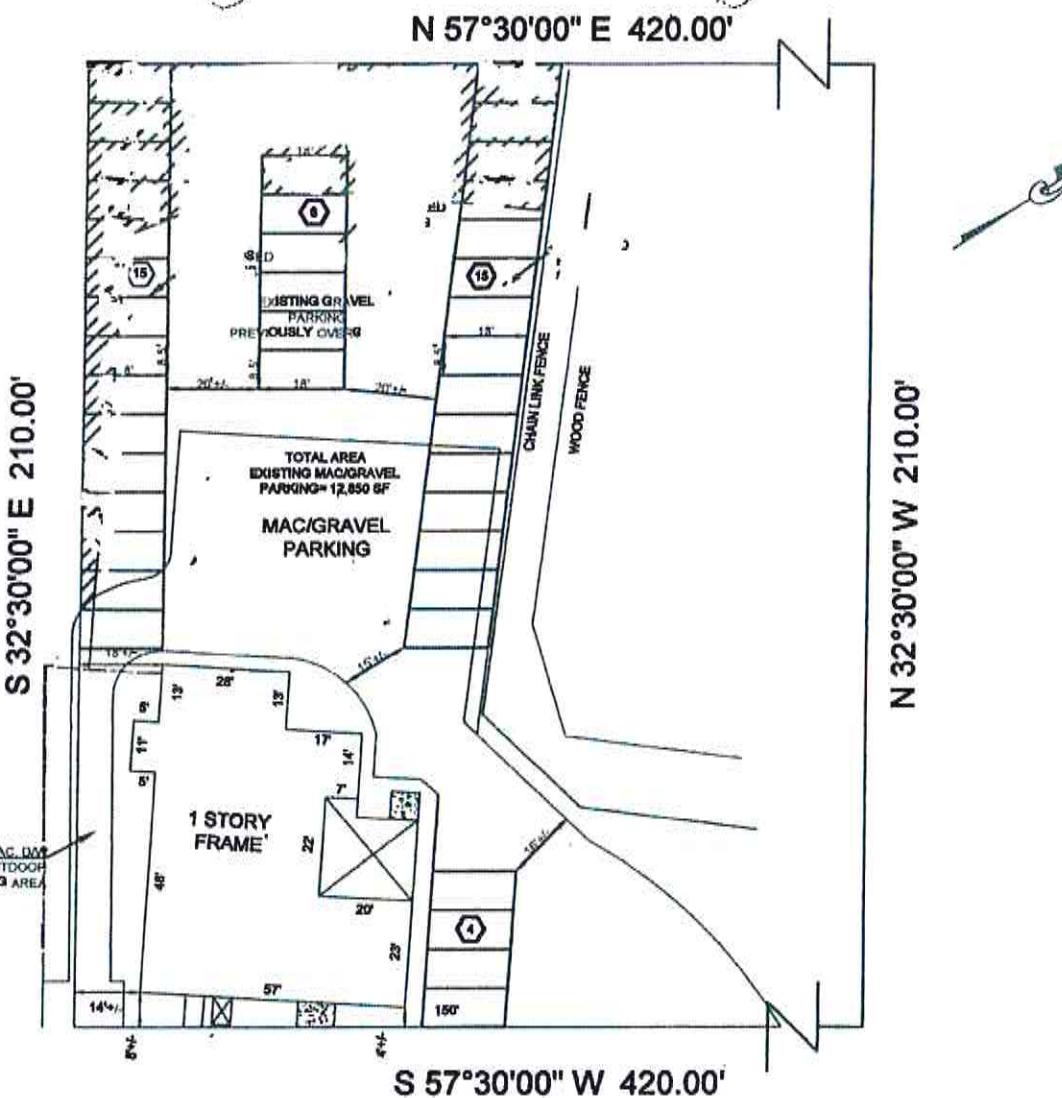
4-16-18

B'

Permit Number	Fee			
202348985				
Date	Tax Acct #	Perc %		
4-16-2018	3000-9001-8604			
Site Address	Map	Block	Parcel	Lot(s)
9131 Fort Smallwood Rd	18	01	00	
City	State	Zip	Subdivision	
Pasadena	MD	21122		
Suite #	Tenant Name	Tenant Location		
	Coconut Charlie's			
Property Owner Information		Contractor's Information		
Company Name		Lic Type & #	Company Name	
Name		Name		
Ralph Jackson				
Mailing Address		Mailing Address		
9131 Ft Smallwood				
City		State	Zip	
Pasadena		MD	21122	
Telephone		Telephone		
Email		Email		
Applicant Information		Engineer Information		
Company Name		Company Name		
Permit Services Inc				
Name		Name		
Brenda Frahey Gardner				
Mailing Address		Mailing Address		
2011 Prater Lane				
City		State	Zip	
Pasadena		MD	21122	
Telephone		Telephone		
410360 2228				
Email		Email		
Architect Information		Permit Type-Check One		
Company Name		<input type="checkbox"/> New	<input type="checkbox"/> Sprinklers	
Name		<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure-Indicate heights of:	
Mailing Address		<input type="checkbox"/> Alteration/Repairs		
City		<input type="checkbox"/> Sign	Principal	ft in
Telephone			Accessory	ft in
Email		Is this permit application to resolve a violation?		
		<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Describe Proposed Work:				
Revise Remove / Demo Foundation				
* clean up site Destroyed By				
Fire				

Residential Building Permit Application Details																																																																																																																									
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<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>																																																																																																																									
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Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.



THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

= CONCRETE

LOCATION DRAWING:
I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON. AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-

REVISED
4-16-F
B

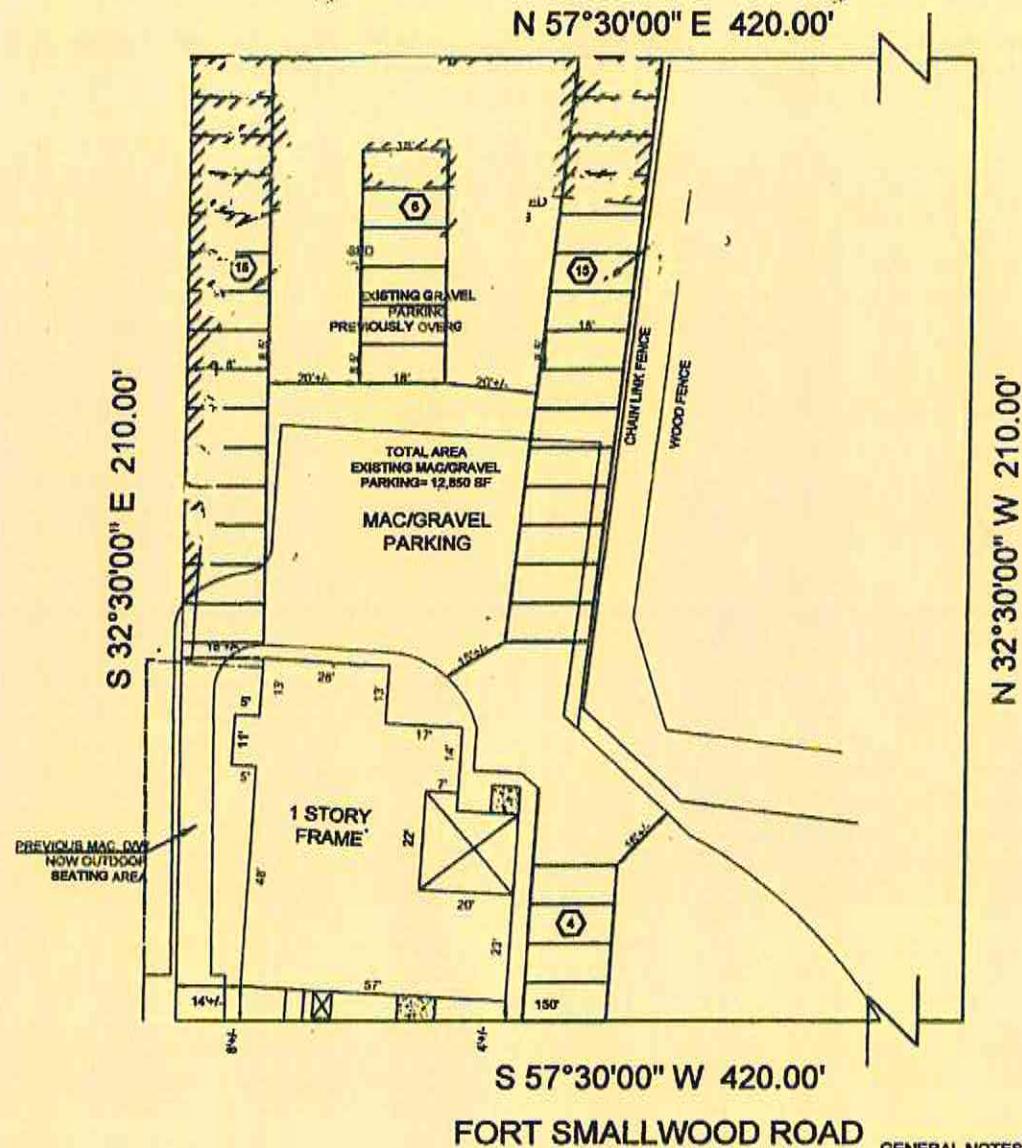
Walter T. Tydings
Ritter & Associates, Inc.

Date

Schulte & Assoc. Inc.
4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address:	Property Description
9131 FORT SMALLWOOD RD. PASADENA, MD 21122	
Date: 10/05/09	Job #: 9378

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
DDFD RFF # 6560/718



FORT SMALLWOOD ROAD

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REVISED
4-16-18
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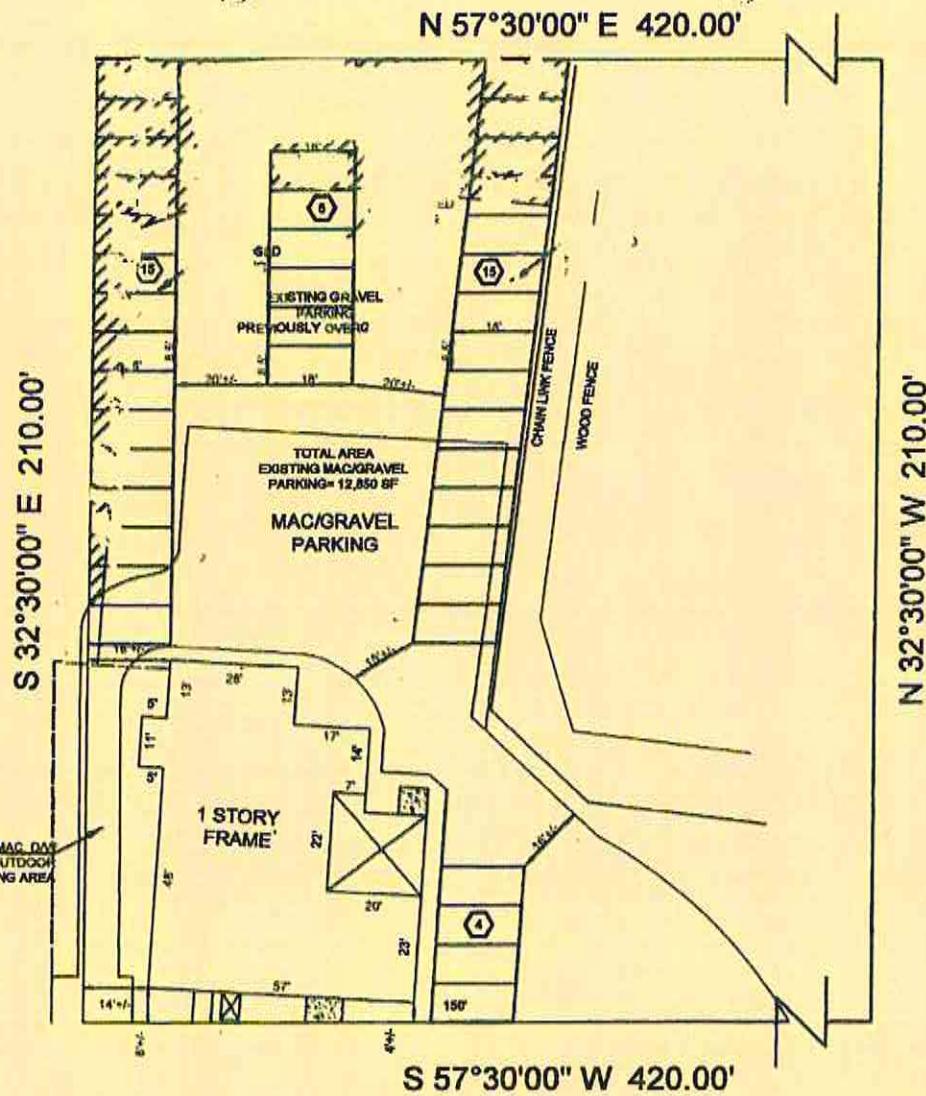
GENERAL NOTES

- 1). THIS PLAT IS OF BENEFIT TO THE CONSUMER
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CONNECTION WITH A CONTEMPLATED TRANSFER,
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- 3). THIS PLAT DOES NOT PROVIDE FOR THE
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FORT SMALLWOOD ROAD

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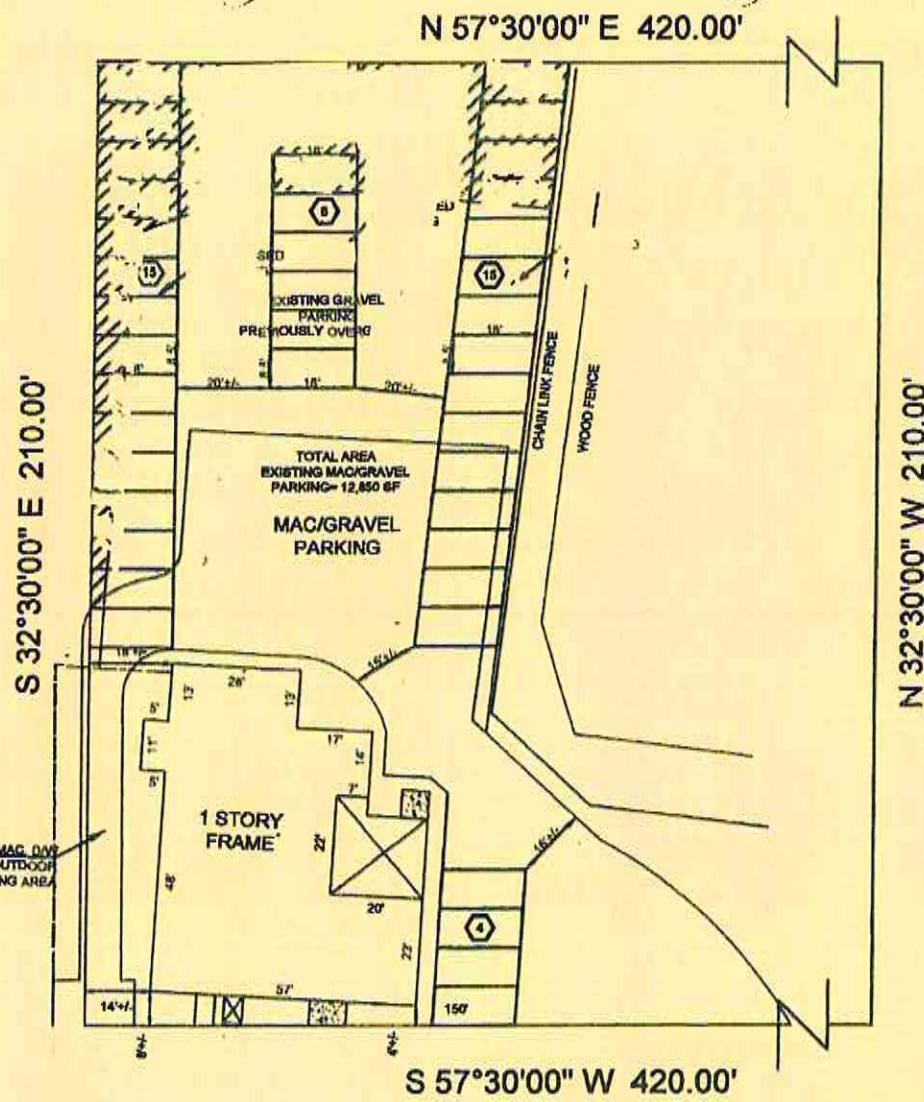
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10/16/18 B



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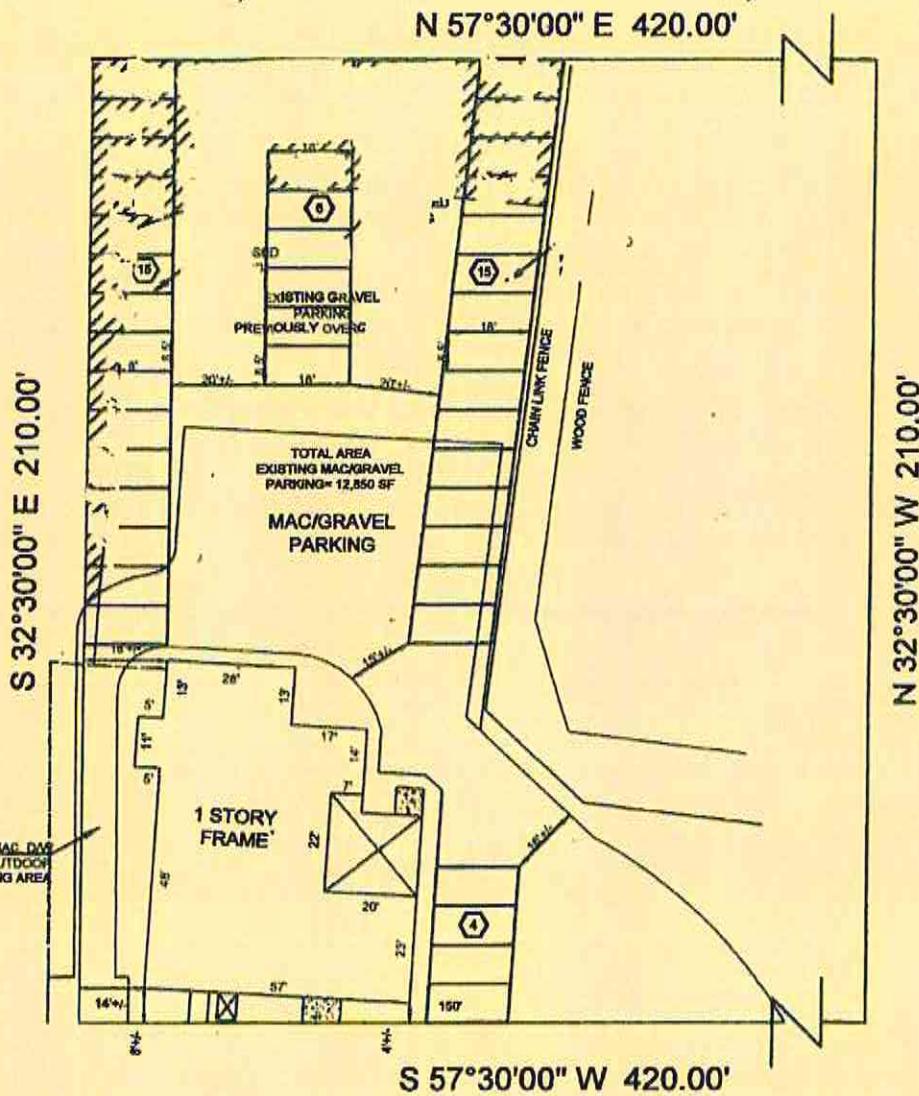
Walter T. Tydings
Dinnerly & Associates 150

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Walter T. Tydings
Dunraven Inc Surveyor #150

Date

REVISED

B; 4/16/18

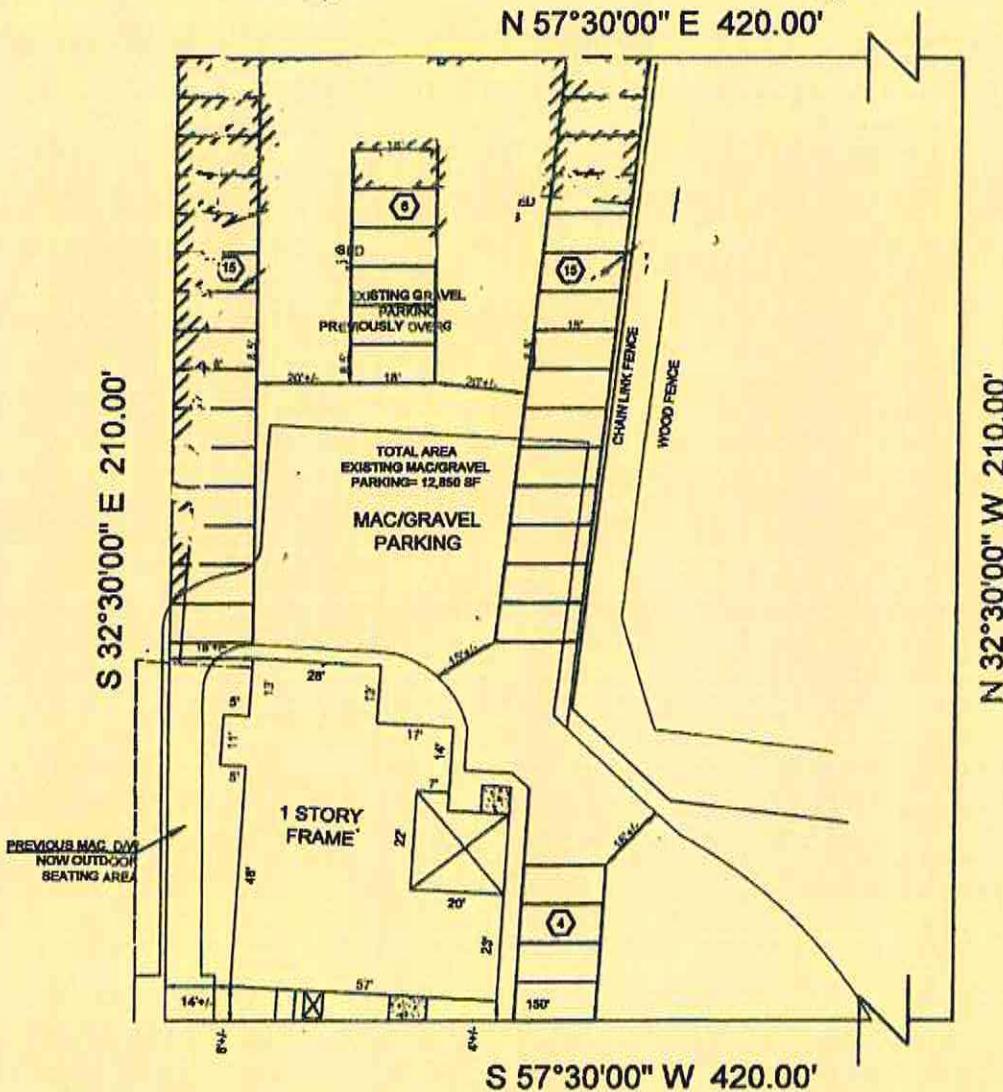
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Job #: 9376	



Walter T. Tydings
Pittsburgh Title Company # 150

Date

Schulte & Assoc. Inc.

4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address	Property Description
9131 FORT SMALLWOOD RD. PASADENA, MD 21122	
Date: 10/05/09	Job #: 9376

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
DFFD RFF # 8560718

 <p>BUILDING ADDRESS 9131 FT SMALLWOOD RD PASADENA MD 21122</p> <p>TAX ACCT NBR: 3000-9001-8604 SUBDIVISION: ROCK CREEK TAX MAP: 18 SQ. FT: 2.00 BLOCK(ST): 01 LOT: PARCEL: 0008 SECTION: DEED: 06560-718 BLOCK: PROP DESC: 2 ACRES</p> <p>BUILDING PERMIT TENANT COCONUT CHARLIE'S APPLC</p>		<p>===== CONTRACTOR =====</p> <p>OWNER XXXXXXXXXXXXXXXXXXXX XXXXXX, XX 11111</p> <p>PHONE: COUNTY LICENSE: CTR 003157 STATE LICENSE: LICENSEE: PHONE:</p> <p>===== OWNER =====</p> <p>JACKSON RALPH G 9131 FORT SMALLWOOD RD PASADENA MD 21122</p> <p>WORK: HOME:</p>		<p>Applic Date: 2017-09-08 Issue Date: 2017-09-08</p> <p>B - 02348985</p>																															
<p>IMPROVEMENT TYPE DEM LOC 9129 FT SMALLWOOD RD</p> <p>TYPE OF USE.... RESTAURANT/ASSEMBLY</p> <p>PROPOSED USE... DEMOLISH TO FOUNDATION</p> <p>PRSD WORK LINE1</p> <p>LINE2 RVSD 1/5/18 (KM)</p>		<p>=HURRICANE=</p> <p>TIDE ZONE ELEV FLOOD MAP</p>		<p>-</p>																															
<p>==BUILDING CHARACTERISTICS==</p> <p>BUILDING HEIGHT (FT) 0</p> <p>NUMBER OF STORIES 0 ELEVATORS 0</p> <p>NUMBER OF STANDPIPES 0</p> <p>TYPE OF OWNERSHIP PR</p> <p>TYPE OF CONSTRUCTION 5B</p> <p>SMOKE DETECTORS (Y/N) Y</p> <p>SEWAGE DISPOSAL TYPE S</p> <p>WATER SUPPLY TYPE W</p> <p>HEATING FUEL</p> <p>NBR OF FIRE ALARMS 0</p> <p>TOTAL AREA SQ. FT 0</p> <p>SPRINK. AREA SQ. FT 0</p> <p>CONTRACT COST OF WORK \$ 40000</p>		<p>==== BUILDING DIMENSIONS =====</p> <table border="1"> <thead> <tr> <th>AREA</th> <th>LEN</th> <th>WLDTH</th> </tr> </thead> <tbody> <tr> <td>UNFIN. BASEMENT</td> <td>0</td> <td>0</td> </tr> <tr> <td>FIN. BASEMENT</td> <td>0</td> <td>0</td> </tr> <tr> <td>1ST FLOOR</td> <td>0</td> <td>0</td> </tr> <tr> <td>2ND FLOOR</td> <td>0</td> <td>0</td> </tr> <tr> <td>GARAGE</td> <td>0</td> <td>0</td> </tr> <tr> <td>CARPORT</td> <td>0</td> <td>0</td> </tr> <tr> <td>PORCH</td> <td>0</td> <td>0</td> </tr> <tr> <td>DECK</td> <td>0</td> <td>0</td> </tr> </tbody> </table> <p>==== AIRPORT ==== ZONE NOISE FLIGHT PATTERN</p> <p>==== LOT CHARACTERISTICS ==</p> <table border="1"> <thead> <tr> <th>CORNER LOT</th> <th>N</th> </tr> </thead> <tbody> <tr> <td>WATER FRONT LOT</td> <td>N</td> </tr> </tbody> </table>	AREA	LEN	WLDTH	UNFIN. BASEMENT	0	0	FIN. BASEMENT	0	0	1ST FLOOR	0	0	2ND FLOOR	0	0	GARAGE	0	0	CARPORT	0	0	PORCH	0	0	DECK	0	0	CORNER LOT	N	WATER FRONT LOT	N	<p>GRAD PERM NBR BEDRMS 0</p> <p>==== SETBACKS ==== FRONT 0 0 REAR 0 0 SIDE (MIN) 0 0 SIDE (COMB) 0 0 SIDE ST 0 0 MAJ ARTERY 0</p> <p>==== MAX HEIGHT === STORIES 0.0 FEET 0</p> <p>==== PARKING ==== OFF STR 0 HANDICAP 0</p>	
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<p>ZONING OSD FEE AMOUNT 0.00 OSD FEE CD DTE P.W. AGREEMENT FINISHED AREA 0</p> <p>CENSUS TRACT CRITICAL AREA N CRIT AREA MAP 0 DRIVEWAY APRONS STORMWATER MGMT</p>		<p>A PERMIT UNDER WHICH NO INSPECTION HAS BEEN REQUESTED WITHIN ONE YEAR AFTER ISSUANCE SHALL EXPIRE. A PERMIT UNDER WHICH WORK COMMENCES WITHIN ONE YEAR SHALL BE CONSIDERED VALID IF CONSTRUCTION IS CONTINUOUS AND AT LEAST 33% IS COMPLETED EACH CONSECUTIVE YEAR FROM DATE OF ISSUANCE. INSPECTIONS ARE REQUIRED FOR FOOTING TRENCHES, FOUNDATION (WATERPROOFING-DRAIN TILE-BACKFILL), FRAMING, INSULATION AND FINAL. TWENTY-FOUR HOUR NOTICE IS REQUIRED FOR ALL INSPECTION REQUESTS.</p> <p>A CERTIFICATE OF OCCUPANCY IS REQUIRED TO BE ISSUED BY THE BUILDING OFFICIAL BEFORE THIS BUILDING MAY BE OCCUPIED. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL BUILDING, TRADE, HEALTH AND FIRE (IF REQUIRED) INSPECTIONS HAVE BEEN MADE AND APPROVED.</p> <p>NOTE: SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED.</p>																																	
<p>FTG _____ BFILL _____ INT-DTILE _____ EX-DTILE _____ SLAB _____</p> <p>FRAME _____ INSUL _____ CEILING _____ STEEL _____ PIER _____</p> <p>SPK RI _____ SPK FINAL _____ PROG _____ FINAL _____ FL CERT _____</p>																																			
 <p>Director of Inspections and Permits</p>		<p>FEE: 270.00</p> <p>Applc Date: 2017-09-08 Issue Date: 2017-09-08</p>	<p>PROJECT NUMBER:</p> <p>B - 02348985</p>																																



✓ 4751

 Permit Center
 2664 Riva Road
 Annapolis MD 21401

Building Permit Application

REVISED

11/5/18

Permit Number 1502348985	Fee 105	Perc #	UA/PWA#
Date 1-3-2018	Tax Acct # 3000-9001-8604	Map 18	Block 001
Site Address 9131 FT Smallwood Rd	Parcel 0008	Lot(s)	
City Pasadena	State MD	Zip 21122	Subdivision Rock Creek
Suite #	Tenant Name	Tenant Location	
Property Owner Information		Contractor's Information	
Company Name	Lic Type & #	Company Name	
Name Ralph Jackson	Name		
Mailing Address 9131 FT Smallwood	Mailing Address		
City Pasadena	State MD	Zip 21122	
Telephone	Telephone		
Email	Email		
Applicant Information Company Name Permit Services, Inc	Engineer Info Information Company Name		
Name Brenda Fratay Garver	Name		
Mailing Address 2011 Fratay Lane	Mailing Address		
City Pasadena	State MD	Zip 21122	
Telephone 410-360-2228	Telephone		
Email	Email		
Architect Information Company Name	Permit Type-Check One		
Name	<input type="checkbox"/> New	<input type="checkbox"/> Sprinklers	
Mailing Address	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure-indicate heights of:	
City	<input checked="" type="checkbox"/> Alteration/Repairs	Principal	ft in
Telephone	<input type="checkbox"/> Sign	Accessory	ft in
Email	Is this permit application to resolve a violation?		
Describe Proposed Work: Revise to Demo Building to REMOVE ROOF WALLS & EX WOOD DECK. SALVAGE FOUNDATION AS POSSIBLE. NEW FOUNDATION & STRUCTURE UNDER SEPARATE PERMITS	<input type="checkbox"/> Yes	<input type="checkbox"/> No	

Residential Building Permit Application Details							
Property Details				Construction Details			
Corner Lot	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Public Water	<input type="checkbox"/>	Width	X	Length
Waterfront	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Private Water	<input type="checkbox"/>			Total Sq. Ft.
Critical Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Wetland	<input checked="" type="checkbox"/>			
Bog Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Septic	<input checked="" type="checkbox"/>			
ADC Map				Mayo System	<input type="checkbox"/>		
Zoning Classification	<u>NON-COMFORMING</u>						
Name of Waterway							
Building Characteristics							
Bldg Height:	Existing	Proposed					
Number of Stories							
Number of Bedrooms							
Number of Baths							
Sriuké Detectors							
Carbon Monoxide Detectors							
Fireplace							
Heating Fuel Type/AC							
Commercial Building Permit Application Details							
Use Group	Heating Fuel						
Construction Type							
Existing Use	Number of Stories						
Proposed Use	Building Height: Existing _____ Proposed _____						
Number of Elevators	Number of Fire Alarms						
Number of Standpipes	Total Square Footage						
Smoke Detectors	Sprinklered Area Square Footage						
<p>The applicant hereby certifies as follows: 1) that he/she is authorized to make this application; 2) that all information provided by the applicant, whether on an original application or on an application for a revision, is true and correct, including all information on any attachments hereto; 3) that, on an application for revision and all attachments thereto, he/she has brought to the attention of the Permit Center all changes being made from the original application and attachments thereto by highlighting those changes on this form and the attachments; 4) that he/she will comply with all regulations of Anne Arundel County which are applicable hereto; 5) that he/she will perform no work on the above property not specifically described in this application; 6) that he/she grants County officials the right to enter onto the property for the purpose of inspecting the work permitted and posting notices.</p>							
Signed:	<u>Chm3 Welsh</u>						
Owner/Agent		Date: <u>01-03-18</u>					
Print Name: <u>Chm3 Welsh</u>							

Many subdivisions and neighborhoods within Anne Arundel County have private deed restrictions or covenants regulating building construction. Anne Arundel County staff will not determine whether or not the work covered by a permit satisfies these covenants. Obtaining a building permit does not relieve the homeowner of his responsibility for determining the nature of applicable covenants and private deed restrictions and complying with covenants. It is recommended that the Land Records Office of the Anne Arundel County Clerk of the Court's office be checked to determine whether or not covenants or restrictions exist that regulate the proposed work. You may also wish to check with your Civic or Homeowner's Association to see if other restrictions apply.

		BUILDING ADDRESS 9131 FT SMALLWOOD RD PASADENA MD 21122		CONTRACTOR FIRST CHOICE SERVICES INC 1744 SULPHUR SPRING ROAD BALTIMORE, MD 21227 PHONE: (410) 247-4105 COUNTY LICENSE: HIC 079260 STATE LICENSE: LICENSEE: PHONE: (410) 247-4105		B - 02348985 <small>Applic Date: 2017-09-08</small> <small>Issue Date: 2017-09-08</small>																												
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 Director of Inspections and Permits				FEE: 165.00		PROJECT NUMBER: B - 02348985																												
				Applic Date: 2017-09-08 Issue Date: 2017-09-08																														



9129 Ft Smallwood Rd

7/28/17

 Permit Center
 2684 Riva Road
 Annapolis MD 21401

Building Permit Application

Permit Number	Fee	105.00	42606
Date	Tax Acct #	Perc #	UA/PWA#
9/2/17	03 - 000 - 90018604		
Site Address	Map	Block	Parcel
9129 Fort Smallwood Rd.	18		8
City	State	Zip	Subdivision
Pasadena	MD	21122	
Suite #	Tenant Name	Tenant Location	
	COCONUT Charlie's	79260	
Property Owner Information		Contractor's Information	
Company Name	Lic Type & #	Company Name	
Ralph Jackson	MIC 79087	First Choice Services	
Mailing Address	Name	JOE Ernest	
9129 Fort Smallwood Rd.	Mailing Address	1744 Sulphur Spring Rd	
City	City	State	Zip
Pasadena	Baltimore	MD	21227
Telephone	Telephone		
410-320-2608	410-242-4105		
Email	Email	JOE@FireWindWater.com	
Applicant Information		Engineer Information	
Company Name	Company Name	EBA Engineering	
First Choice Services	Name	FRANK TAVERNA	
Name	Mailing Address		
JOE Ernest	1744 Sulphur Spring Rd		
Mailing Address	City	State	Zip
1744 Sulphur Spring Rd	Baltimore	MD	21227
City	Telephone		
Baltimore	410-242-4105		
Telephone	410-474-3578		
Email	Email		
Architect Information		Permit Type-Check One	
Company Name	New	<input type="checkbox"/>	Sprinklers
Name	Addition	<input type="checkbox"/>	Accessory Structure-Indicate heights of:
Mailing Address	<input checked="" type="checkbox"/> Alteration/Repairs		Principal _____ ft _____ in
City	<input type="checkbox"/> Sign		Accessory _____ ft _____ in
State			
Zip			
Telephone	Is this permit application to resolve a violation?		
Email	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Describe Proposed Work:			
Remove all Drywall, Floor Coverings, Cabinetry Insulation and Any other Building Material Needed To Inspect Extent of Damage. An Engineer will Be Scheduled To Inspect Structure Damage After Interior Demo is Complete.			

Interior Demo is Complete.

7/28/17

revised 8/7/14 jpr

Anne Arundel County, Maryland**Cash Receipt**

DEPT/BUSINESS UNIT NUMBER I&P 1253

09/08/2017 DATE

RIVA
Anne Arundel County, MD
TICKET REVENUE
AMOUNT

Date / Time	09/08/17 11:33
Payment	\$ 165.00
Receipt #	10423717
Check/Credit Card #:	42406

DEPT/BUSINESS UNIT NAME PERMIT APPLICATION CENTER

RECEIVED OF FIRST CHOICE SERVICES, 1744 SULPHUR SPRING RD, BALTIMORE, MD 21227

ISSUED BY LED1253 DISTRIBUTION

PAID BY
 (SEQUENCE/PERMIT NUMBER) 20571115/B02348985
 ACCOUNTING.....WHITE
 CASHIER.....YELLOW
 ISSUING DEPT.....PINK
 CUSTOMER.....GOLDENROD

ACCOUNT NUMBER	SUBS./LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	
----------------	----------------------------	--------------------	----------------------	--

1253 . 5883		20571115/B02348985 DEMOLITION DEMOLITION		140.00
1253 . 5882		20571115/B02348985 DEMOLITION BLDG APP FEE		25.00

TOTAL

165.00

Anne Arundel County, Maryland

Cash Receipt

DEPT/BUSINESS UNIT NUMBER	I&P 1253	DATE	VALIDATION	ANNE ARUNDEL COUNTY, MD TISC REVENUE RIVIA
DEPT/BUSINESS UNIT NAME	PERMIT APPLICATION CENTER			Date / Time : 01/05/18 15:18
RECEIVED OF	PERMIT SERVICES, 2011 FRALEY LANE PASADENA, MD 21122			Payment : \$ 105.00
ISSUED BY	STC1214 20578155/BC2348985	DISTRIBUTION		Receipt #: 10725392
PAID BY (SEQUENCE/PERMIT NUMBER)	ACCOUNTING...WHITE CASHIER.....YELLOW ISSUING DEPT.....PINK CUSTOMER.....GOLDENROD			Check/Credit Card #: 4737
ACCOUNT NUMBER	SUBS/LEDGER TYPE REF 1	VENDOR NO REF 2	DESCRIPTION REF 3	AMOUNT
1253,5883			20578155/BC2348985 DEMOLITION DEMOLITION	105.00
TOTAL				

105.00



Fire Department
8501 Veterans Highway
Millersville, MD 21108
Phone (410) 222-8200
www.aacounty.org

Allan C. Graves
Fire Chief



September 7, 2017

RE: MPIA Request #201748694

Dear Sir or Madam:

Our office is in receipt of your request dated September 7, 2017, which was received on September. Enclosed you will find the report(s) you requested and a receipt for the administrative processing fee. Please note that some information may be redacted from the report pursuant to Maryland code, if applicable.

If I can be of further assistance, please feel free to contact me at (410) 222-8307.

Sincerely,

Melinda S. Ramsey

Melinda S. Ramsey
Custodian of Records
fdrecords@aacounty.org
410-222-8307 Office
410-222-3052 Fax

Enclosure

1-3-2018

Permit Application Center
2664 Riva Road
Annapolis, Md 21401

Attn: Kathy Matyel

Re: B02348985

Can you please remove First Choice Services Inc
from this demo permit. They are no
longer working on our job.

Thank You,

+
Chad W

 Anne Arundel County, Maryland Citizens Information Center	Home Contact Us																																			
Department of Inspections and Permits																																				
																																				
Welcome home to Anne Arundel County!																																				
Permit Status Display																																				
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Approval Status Permit Fees Inspection History Pending Inspections																																				



Heritage Office 2684 Riva Road
Annapolis, Maryland 21401

**DEPARTMENT OF INSPECTIONS & PERMITS
STANDARD GRADING PLAN APPLICATION**

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Tax Account Number 3000 9001 -8604 Building Permit # _____

Subdivision Name (if applicable) Rock Creek Lot _____ Block _____

Location 9131 Ft Smallwood Rd, Pasadena 21122
Number _____ Street _____ Post Office _____

Owner Ralph Jackson

Name Ralph Jackson Phone _____
Address 9131 Ft Smallwood Rd Pasadena 21122 State _____ Zip _____

Proposed Work Reuse to Demo Building to Remove Roof
walls + Ex wood Deck. Salvage + Foundation As possible

Critical Area Designation N/A Distance from water to disturbed area N/A ft.

Steepest slope disturbed 6% Lot size 2 acres Area to be disturbed 1050 sq. ft.

I/we certify that I/we have the authority to make this application; that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature Brenda Garver

Date 1-4-2018

Applicant's Name (Please Print) Brenda Garver

Company Name – If a Corporation

Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

- the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.
- the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.
- Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector _____

Sign and Print _____

Date _____

SPECIAL CONDITIONS:

Incident	1748694-000		Anne Arundel County Fire 8501 Veterans HWY Millersville, MD 21108 (410)222-8200					
Date and Time	07/28/2017 03:06:02							
Station	10							
Shift	A							
Member Making	000683 - Michael Mattison							
Officer In Charge	000613 - Robert Brewer							
Dates And Times		Location Information						
Alarm Time	07/28/2017 03:06:02		Type:	Street Address 9129 FORT SMALLWOOD RD		Latitude	Station 10	
Arrival Time	07/28/2017 03:13:00					Longitude	District 1010	
Controlled Time						Census Tract		
Last Unit Cleared	07/28/2017 08:46:10		Pasadena	MD	21122	Property Use	162 - Bar or nightclub	
Alarms	2		Injuries and Fatalities		Property Loss	\$200000	Value \$200000	
IncidentType	111 - Building fire		Civilian Injury	0	Contents Loss	\$0	Value \$0	
Mutual Aid	N - None		Civilian Death	0	Response Time	6183666 6.0	Actions 11 - Extinguish	
Detector Present	2 - None Present		Fire Fighter Injury	0	Units	55 #2	51 - Ventilate	
Hazmat Release			Fire Fighter Death	0	Persons	57 #3	52 - Forcible entry	
Area Of Origin	Other		Factor Contributing To Ignition			Undetermined		
Heat Source	Undetermined		Fire Suppression Factor					
Item First Ignited	Undetermined		Human Factor			None		
Material First Ignited	Undetermined							
Cause of Ignition	Cause under investigation							
Buildings Involved	1							
Residential Units								
Acres								
Structure Type	Enclosed building		Story Of Origin			1		
Structure Status	In normal use		Floors Above Grade			1		
Fire Spread	Confined to building of origin		Floors Below Grade			1		
Item Contributing to Flame Spread						Floors Damaged		
Material Contributing to Flame Spread						Minor		
Length	60					Significant		
Width	40					Heavy		
Area	2400					Extreme	1	
Unit	Dispatch	Enroute	Arrival	To Med	At Med	Cleared	In Service	In Quarters
E122	03:06:42	03:09:25	03:14:41			06:48:15		
TK13	03:06:42	03:10:02	03:16:56			06:49:27		
E201	03:08:26	03:11:14	03:17:11			06:48:06		
TK30	03:08:26	03:11:40	03:17:14			06:43:49		
TA40	03:08:26	03:12:45	03:34:48			06:34:54		
TA6	03:08:26	03:12:39	03:35:40			04:19:33		
E084	03:08:26	03:11:18	03:38:49			06:34:23		
E121	03:08:27	03:10:28	03:17:51			06:32:52		
E112	03:08:27	03:11:27	03:26:47			06:28:58		
TK33	03:08:27					03:09:21		
SQ43	03:08:27					03:09:32		
MU10	03:08:27	03:11:28	03:15:57			06:49:56		
BC02	03:08:28	03:09:40	03:23:32			06:58:21		
SAFE5	03:08:28	03:10:49	03:33:10			06:20:04		
E181	03:08:52	03:11:40	03:18:52			06:37:55		

Narratives

0 07/28/2017 07:19:07

Narrative Written By 000831 David M. Peel

On Friday, 28 July 2017 at 03:06:02, units E104, TK13, E201, E121, E112, TK30, TK33, SQ43, TA40, TA6, E084, MU10, BC02, SAFE5, E181, SQ33, C11, AC11, FM868, FM869, E261, TA03, ME094, SAFE1, PIO3, CW3, CW1, RHAB1, OPS05, MU30, WI, E311, E321, E211, BCE57, TW26, TK31, SQ43, TA01, TA42, MU12, BC01, SAFTY, EMS01, PLAN, 2AC1, E171, SQ38, SQ04, FM861, K91, E231, OPS2, U13 and PIO1 responded to an unreported incident type at 9129 FORT SMALLWOOD RD, Pasadena, MD 21122. Upon arrival a 111 - Building fire incident was found.

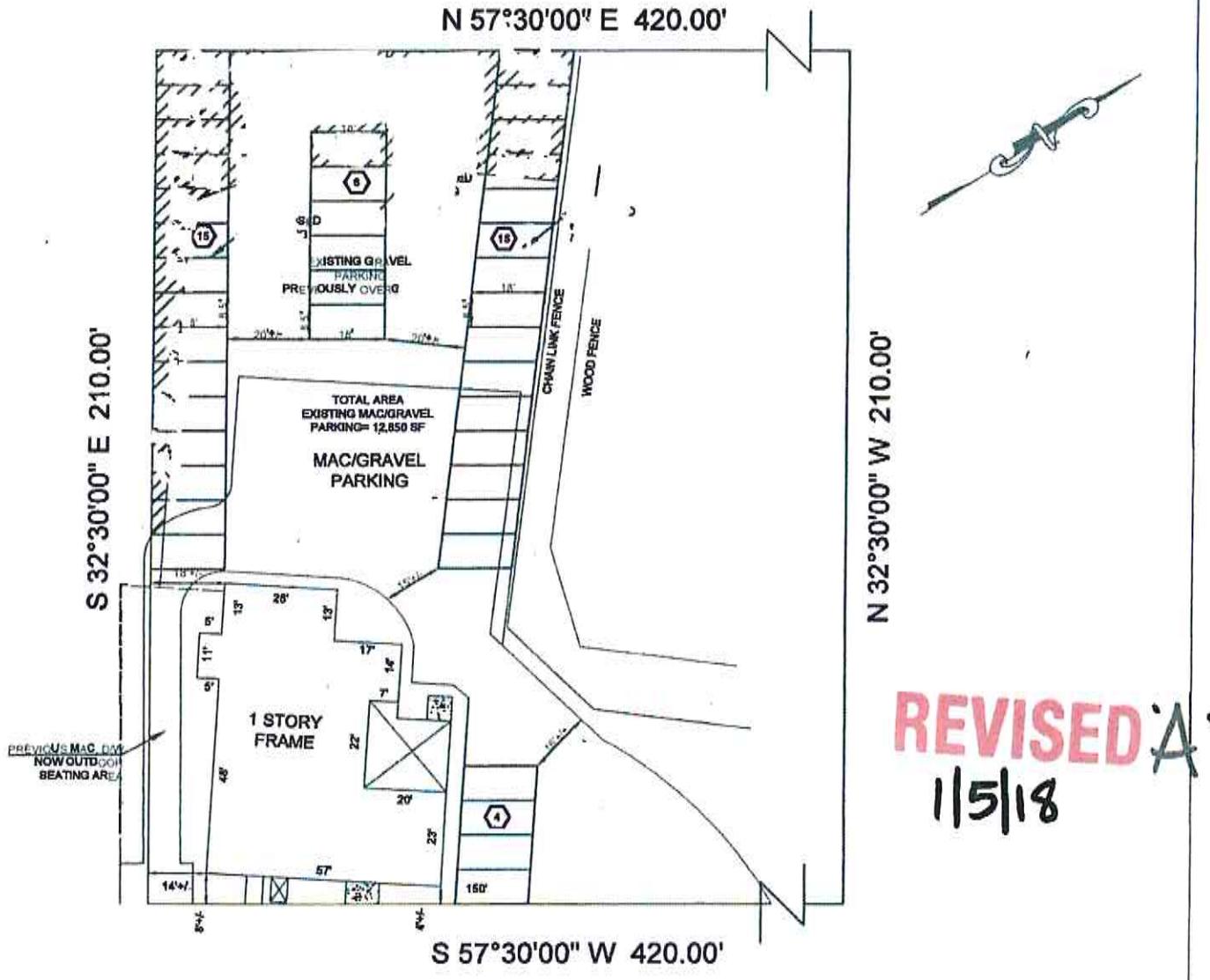
The primary property use is 162 - Bar or nightclub.

Unit AC11, the first arriving unit, arrived at 03:13:59. The last unit on scene, BC02, cleared the scene at 06:58:21.

Actions taken by the primary responding units were: 11 - Extinguish; 51 - Ventilate and 52 - Forcible entry.

A total of 55 apparatus and 29 personnel responded to this call.

E104 was initially dispatched for an "alarm sounding" but the assignment was quickly upgraded to a full box assignment with reports coming in of fire showing on the side of the building. E104 laid an initial supply line to the A side of the building but was directed to the C side of the building by C11 who was on location and had established command. E104 advanced a 1 3/4 handline to the B side and encountered a wooden walkway on fire with extension to the siding on the building as a continuous water supply was established. The fire was quickly extinguished and entry was forced via the B side door and the C side door. The exterior siding and gutters were removed to ensure no extension on the exterior. Interior ceilings were hooked and the attic hatch was opened in an attempt to clear the attic space. The roof was opened up externally to extinguish fire in the attic. A second alarm was called for and once extinguishment was complete it was ensured that no further fire spread was present and the structure was ventilated and turned over to members of the AACoFD FIB.



THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

= CONCRETE

LOCATION DRAWING:

I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON, AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-.

GENERAL NOTES

- 1). THIS PLAT IS OF BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH A CONTEMPLATED TRANSFER, FINANCING, OR RE-FINANCING.
- 2). THIS PLAT IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR ANY OTHER FUTURE IMPROVEMENTS.
- 3). THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THIS TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

Schulte & Assoc. Inc.

4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address:	Property Description:
9131 FORT SMALLWOOD RD. PASADENA, MD 21122	
Date: 10/05/09	Job #: 9378

LOCATION DRAWING OF
9131 FORT SMALLWOOD RD.
PASADENA, MD 21122
A.A.CO.MD
DFFD RFF # 6560718

Rv A

1-22-18

IPD131C/MS3A DISPLAY PERMIT INFORMATION BUILDING PERM OFFICE A
 ====== PROPERTY ====== NBR B02348985 INIT STC1214
 ====== CONTRACTOR/LICENSEE ======
 9131 FT SMALLWOOD RD OWNER
 PASADENA MD 21122 XXXXXXXXXXXXXXXXXXXX
 TAX ACCT NBR 3000 - 9001 - 8604 XXXXXX, XX 11111
 SUBDIV: ROCK CREEK PHONE - LIC # CTR - 003157
 TAX MAP 18 ACREAGE 2.000
 BLOCK(ST) 01 LOT
 PARCEL 0008 SECTION
 DEED 06560-718 BLOCK
 PR DESC: 2 ACRES
 ======
 ADC - TENANTS COCONUT CHARLIE'S
 LOCATION 9129 FT SMALLWOOD RD
 TYPE OF IMPROVEMENT: DEM TYPE OF USE: RES
 PROPOSED USE.....: DEMOLISH TO FOUNDATION
 PROPSD WORK LINE1:
 LINE2: RVSD 1/5/18 (KM)
 PERMIT DATES.....: APP: 09/08/17 ISS: 09/08/17 CMP: EXP:
 INT: ACTIVE VIOLATION EXISTS
 CURRENT STATUS...: A REV IND: RNW: PROJECT #: NO C/A
 PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF9=NEXT PF12=EXIT

REV "A" (OD=1,050P PER SLS SITE 13 GRAVEL & PAVEMENT
 SCOPE & REBUILD & DEMO WORKINGS)

Minor Work 1/9/2018

ABATES VIOLATION B-2017-529

BW



Heritage Office 2664 Riva Road
Annapolis, Maryland 21401

**DEPARTMENT OF INSPECTIONS & PERMITS
STANDARD GRADING PLAN APPLICATION**

PERMIT APPLICATION CENTER 410-222-7720
EROSION & SEDIMENT CONTROL 410-222-7780

Rev A

Tax Account Number 3000 9001 - 8604 Building Permit # B0848986

Subdivision Name (if applicable) Rock Creek Lot _____ Block _____

Location 9131 Ft Smallwood Rd, Pasadena 21122
Number 9131 Street Ft Smallwood Rd, Post Office Pasadena 21122

Owner Ralph Jackson

Name Ralph Jackson Phone (410) 791-1000
Address 9131 Ft Smallwood Rd Pasadena 21122 State MD Zip 21122

Proposed Work Re�ise to Demo Building to Remove Roof
walls + Ex wood deck. Salvage Foundation As possible

Critical Area Designation N/A Distance from water to disturbed area N/A ft.

Steepest slope disturbed 6% Lot size 3 acres Area to be disturbed 1050 sq. ft.

I/we certify that I/we have the authority to make this application; that the proposed work is authorized by the owner in fee; that the information above is correct and that I/we have chosen this method to satisfy our sediment control obligation. I/we certify that the proposed/construction meets the conditions and limitations established and contained in the Anne Arundel Soil Conservation District's Standard Sediment and Erosion Control Plan www.aacounty.org/IP/Resources/SGP.pdf; and I/we have the ability and will meet all the limitations and conditions set forth by said plan.

Applicant's Signature Brenda Garver Date 1-4-2018

Applicant's Name (Please Print) Brenda GARVER
Company Name – If a Corporation

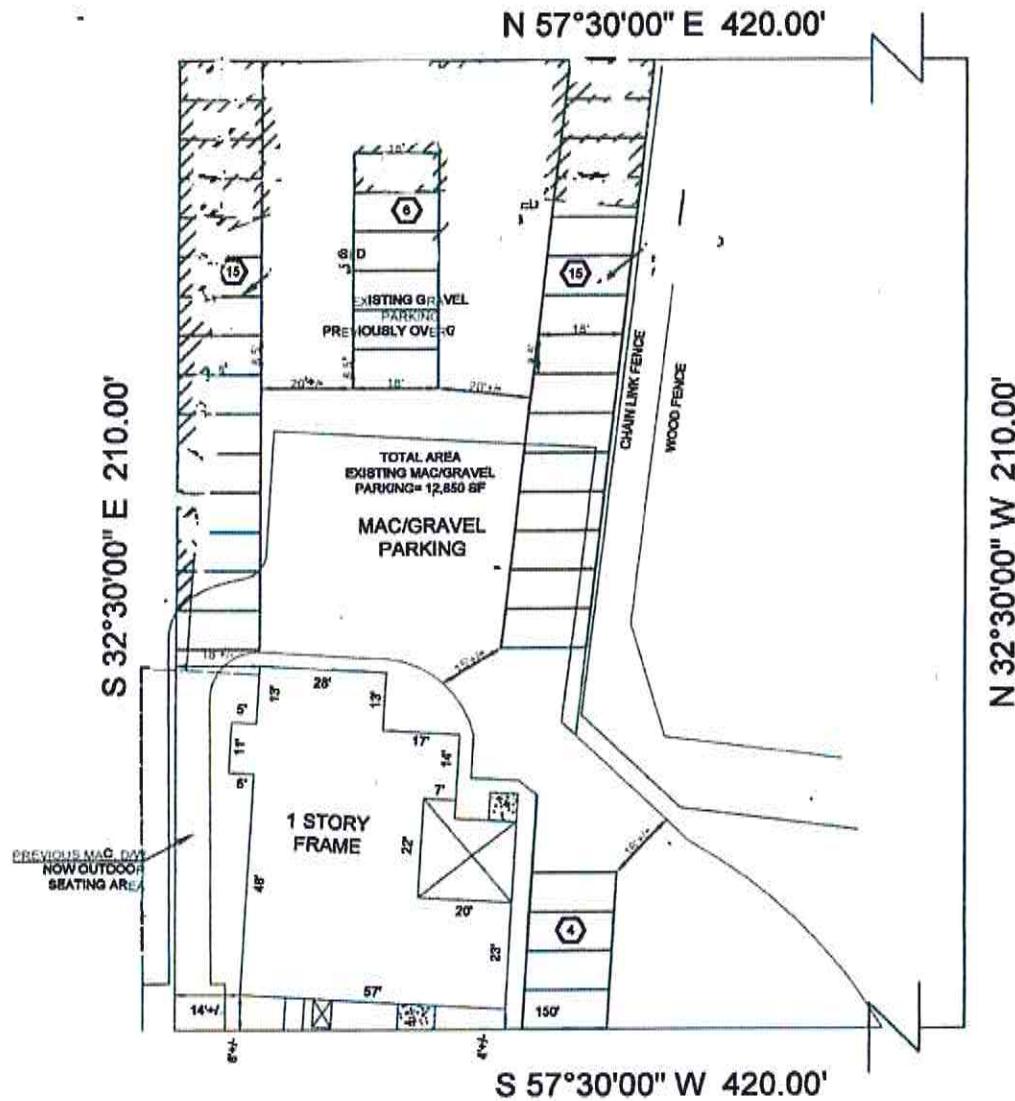
Approved - Compliance with the Standard Erosion Control Plan for Anne Arundel County, and:

- the attached Standard Plan becomes part of the building permit and is subject to any special conditions listed below.
- the attached Standard Plan allows for site grading without a separate grading permit and is subject to any special conditions listed below. Approval is granted for one year unless otherwise noted.
- Not Approved - Grading permit required. Site fails to meet the conditions as detailed in Anne Arundel Soil Conservation District Resolution 2010-5

Inspector Shawn Jackson
Sign and Print SHAWN JACKSON 3000B

Date 1/9/2018

SPECIAL CONDITIONS:



REVISED
1.5.18

THIS PLAT IS NOT INTENDED TO BE USED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES!!!

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

[REDACTED] = CONCRETE

LOCATION DRAWING:

I HEREBY CERTIFY THAT THE IMPROVEMENTS ARE LOCATED AS SHOWN HEREON, AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN HEREON, AND THAT THE IMPROVEMENTS APPEAR TO BE IN FLOOD ZONE C. THIS SURVEY IS TO ESTABLISH THESE ABOVE GROUND IMPROVEMENTS ONLY AND NOT INTENDED TO FIND UNDERGROUND UTILITIES OR OTHER INSTALLATIONS. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1' +/-.

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Schulte & Assoc. Inc.

4399 MOUNTAIN ROAD
PASADENA, MD 21122
PHONE: 410-360-9464
FAX: 410-360-0247

Address:	Property Description:
9131 FORT SMALLWOOD RD. PASADENA, MD 21122	

Date: 10/05/09	Job #: 9376
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LOCATION DRAWING OF
9131 FORT SMALLWOOD RD
PASADENA, MD 21122
A.A.CO.MD
DDFD RFF # 65607718

IPD131C/MS3A

DISPLAY PERMIT INFORMATION

BUILDING PERM OFFICE A
NBR B02348985 INIT LED1253
NXT B02348986

=====PROPERTY=====

9131 FT SMALLWOOD RD
 PASADENA MD 21122
 TAX ACCT NBR 3000 - 9001 - 8604
 SUBDIV: ROCK CREEK
 TAX MAP 18 ACREAGE 2.000
 BLOCK(ST) 01 LOT
 PARCEL 0008 SECTION
 DEED 06560-718 BLOCK
 PR DESC: 2 ACRES

=====CONTRACTOR/LICENSEE=====

OWNER XXXXXXXXXXXXXXXXXX
 XXXXXX, XX 11111
 PHONE - LIC # CTR - 003157

ADC - TENANTS COCONUT CHARLIE'S

LOCATION 9129 FT SMALLWOOD RD

TYPE OF IMPROVEMENT: DEM TYPE OF USE: RES

PROPOSED USE....: DEMOLISH TO FOUNDATION, RVSD 1/5/18 (KM),

PROPSD WORK LINE1: ADD DEMOLITION OF FOUNDATION-RV 4/18/16*LD*

LINE2:

PERMIT DATES....: APP: 09/08/17 ISS: 09/08/17 CMP: EXP:
 INT: ACTIVE VIOLATION EXISTS
 CURRENT STATUS...: A REV IND: RNW: PROJECT #:
 PF2=FWD PF3=PROJ PF4=INSP HIST PF5=APPR PF7=LIC PF9=NEXT PF12=EXIT

10/18 LOP = 3,000\$ DEMO, SCPE REBUILD uALNING.

Sharon Jacob 4/26/2018

MP